

# PRELIMINARY/FINAL SITE PLAN EXCHANGE PLACE IMPROVEMENTS

LOT 2, BLOCK 11604 AND EXCHANGE PLACE (PUBLIC R.O.W.)  
CITY OF JERSEY CITY, COUNTY OF HUDSON, NEW JERSEY 07302

## DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
1 EVERTRUST PLAZA, SUITE 801, JERSEY CITY, NJ 07302  
TEL: 201.217.9200 FAX: 201.217.9607  
N.J. CERTIFICATE OF AUTHORIZATION: 186AD7529000

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

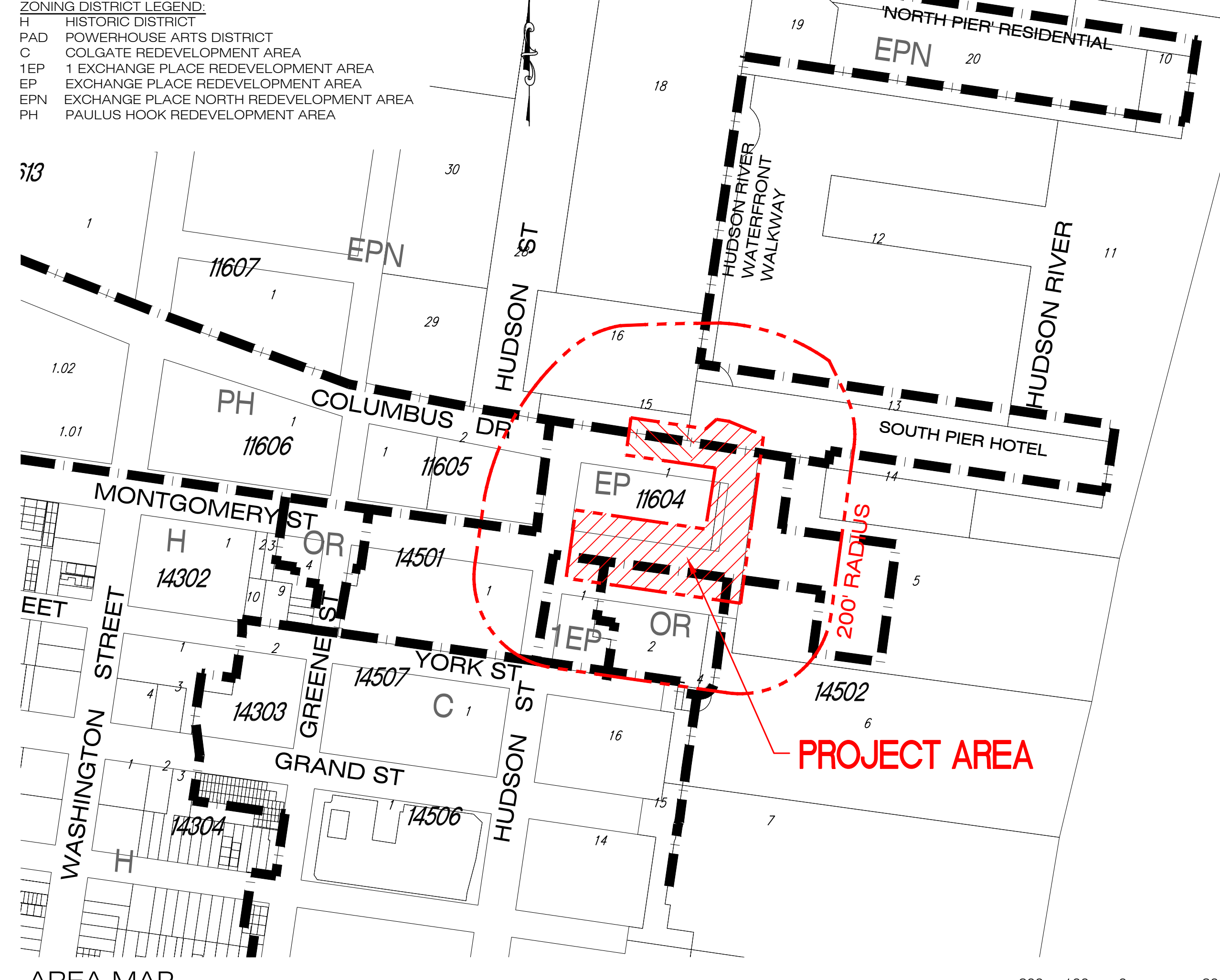
### ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE
BC	BOTTOM OF CURB
BLK	BOTTOM OF WALL
BLDG	BUILDING
BLK	BLOCK
BM	BENCHMARK
BOL	BOLLARD
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CMFP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
DC	DEPRESSED CURB
DIP	DUCTILE IRON PIPE
DMV	DRIVEWAY
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EXIST	EXISTING
FC	FLUSH CURB
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FF	FINISHED FLOOR
FND	FOUND
FR	FRAME
FT	FEET
GAR	GARAGE
GF	GARAGE FLOOR
GR	GRATE
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HVD	HYDRANT
I	INVERT
IF	IRON PIPE
MB	MAIL BOX
MANH	MANHOLE
MW	MONITORING WELL
NF	NOW & FORMERLY
OC	OR CENTER
OCS	OUTLET CONTROL STRUCTURE
OHV	OVERHEAD WIRE
PAVT	PAVEMENT
PC	POINT OF CURVATURE
PCD	POINT OF COMMENCEMENT
PI	POINT OF INTERSECTION
PIS	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVE
PRCP	PROPOSED
PIV	POINT OF VERTICAL INTERSECTION
PF	POINT OF FROG
PS	POINT OF SWITCH
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RFD	RAILROAD
RR	RAILROAD TIE
SAN	SANITARY
S	SLOPE
SRF	SPLIT RAIL FENCE
STOCK	STOCKPILE
STM	STORM
STRP	STRIP
STRY	STORY
SW	SIDEWALK
TEL	TELEPHONE
TC	TOP OF CURB
TL	TRAFFIC LIGHT
TW	TOP OF WALL
TG	TOP OF GRATE
TYP	TYPICAL
UC	UNDERGROUND CONDUIT
UE	UNDERGROUND ELECTRIC
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WSP	WOOD STOCKPILE FENCE
WV	WATER VALVE

### LOCATION MAPS



**KEY MAP**  
NJ OFFICE OF INFORMATION TECHNOLOGY (NJ.OIT), OFFICE OF GEOGRAPHIC INFORMATION SYSTEMS (OGIS)



**AREA MAP**  
SOURCE: CITY OF JERSEY CITY TAX MAPS. SHEET N° 116 & 145  
LATITUDE: 40.716 N LONGITUDE: -74.033 W

### PROJECT CONTACTS

**OWNER**  
CITY OF JERSEY CITY  
280 GROVE STREET  
JERSEY CITY, NJ 07302  
PHONE: (201) 547-5000

**SPONSOR**  
EXCHANGE PLACE ALLIANCE  
HARBORSIDE 2  
200 HUDSON STREET, SUITE 801  
JERSEY CITY, NJ 07311  
PHONE: (201) 918-4200

**PROGRAM MANAGER**  
SIP PROPERTIES  
95 GREEN STREET  
JERSEY CITY, NJ 07302  
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**CIVIL ENGINEER**  
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**LANDSCAPE ARCHITECT**  
MELLO & BAKER ASSOCIATES  
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BRIELLE, NEW JERSEY 08730  
PHONE: (732) 528-0664

**GEOTECHNICAL ENGINEER**  
MUESER RUTLEDGE CONSULTING ENGINEERS  
14 FENN PLAZA  
225 WEST 34TH STREET  
NEW YORK, NY 10122  
PHONE: (917) 339-9300

**STRUCTURAL ENGINEER**  
THORNTON TOMASETTI  
51 MADISON AVENUE  
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PHONE: (917) 661-7800

**MECHANICAL AND PLUMBING**  
MGE UNIFIED TECHNOLOGIES CORP.  
116 WEST 32ND STREET  
NEW YORK, NY 10001  
PHONE: (212) 643-9055

**LIGHTING CONSULTANTS**  
BEAM LTD  
428 WEST WAVERLY ROAD  
GLENSIDE, PA 19038  
PHONE: (215) 508-0900

**ENVIRONMENTAL GRAPHICS**  
EVERAGE DESIGN GROUP  
PHONE: (617) 970-7195

### GENERAL NOTES

- DRESDNER ROBIN ACCEPTS NO RESPONSIBILITY FOR THE MODIFICATION, COPYING, OR USE OF THESE DOCUMENTS BY ANY PARTY. THESE DOCUMENTS ARE ONLY INTENDED FOR USE BY THE CLIENT TO WHOM WE ARE CONTRACTED FOR OUR SERVICES.
- THE USE OF THIS PLAN OR SET OF PLANS, MAY BE DEFICIENT ON ITS OWN TO PROPERLY COMPLETE THE IMPROVEMENTS SHOWN HEREIN. THIS PLAN MAY BE PART OF A MORE COMPREHENSIVE SET OF PLANS AND MAY ONLY PARTIALLY REPRESENT THE INTENDED IMPROVEMENTS OR WORK. EACH INDIVIDUAL PLAN CONTAINS RELEVANT INFORMATION FOR A SPECIFIC PURPOSE, BUT INTENDED TO BE USED IN COMBINATION WITH ALL OTHERS. REMANDERS OF THE PLAN SET FURTHERMORE, THE ENTIRE PLAN SET MAY REQUIRE ADDITIONAL INFORMATION REPRESENTED IN DESIGN DOCUMENTS BY OTHERS (I.E. ARCHITECTURAL PLANS, ROADWAY PLANS, STRUCTURAL PLANS, GEOTECHNICAL REPORTS, ETC.) IN ORDER TO PROPERLY PERFORM THE WORK.
- THESE DOCUMENTS ARE PREPARED FOR THE PURPOSES OF REVIEW BY VARIOUS REGULATORY AGENCIES. INFORMATION SHOWN HEREIN GENERALLY REFLECTS A PROJECT LOCATION, PROPERTY LIMIT, USE, SCOPE AND NATURE OF IMPROVEMENTS. PLAN DIMENSIONS ARE FURNISHED SOLELY IN SUPPORT OF THE FOREGOING DEFINITION AND ARE NOT REPRESENTED AS BEING SUITABLE FOR ANY OTHER USE.
- EXISTING TOPOGRAPHIC FEATURES, UTILITIES AND SUBSURFACE CONDITIONS SHOWN HEREIN ARE BASED ON SURVEY INFORMATION OR INFRASTRUCTURE RECORDS FURNISHED BY OTHERS OR AN INTERPRETATION OF FEATURES READILY OBSERVABLE AT THE TIME OF DESIGN. INVESTIGATIONS UNLESS SPECIFICALLY NOTED, NO DETAILED OR INTRUSIVE INVESTIGATIONS OF UTILITY OR SUBSURFACE FEATURES HAVE BEEN UNDERTAKEN TO CONFIRM DEPICTED FEATURES. DRESDNER ROBIN ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- PURSUANT TO NEW JERSEY'S UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48-2.70), THE CONTRACTOR MUST CONTACT THE NEW JERSEY ONE CALL SYSTEM AT (800) 272-1000 OR 811 FOR A MARKOUT OF ALL PUBLIC UTILITY LINES ON AND ADJACENT TO THE WORKSITE, AS REQUIRED BY THE REGULATIONS AT N.J.A.C. 14:2. THE CONTRACTOR MUST ALLOW FOR THE REQUIRED WRITING PERIOD TO OBTAIN PRIOR TO EXCAVATION IN ORDER TO ENSURE THAT ALL PUBLIC UTILITY LINES ARE MARKED. PRIVATE UTILITY LINES MAY EXIST WITHIN THE WORK AREA AND MAY OR MAY NOT BE MARKED. CARE SHOULD BE TAKEN TO AVOID DAMAGING ANY UTILITY LINES MARKED AND UNMARKED DURING EXCAVATION WORK.
- UTILITY AND OTHER CONSTRUCTION NOTES, WHERE SHOWN ON THE DOCUMENTS, ARE PROVIDED AS REQUESTED BY REGULATORY REVIEW AGENCIES AND/OR QUASI-GOVERNING AGENCIES SUCH AS UTILITY PROVIDERS. SAID NOTES ARE NOT FURNISHED TO ENABLE THESE DOCUMENTS FOR CONSTRUCTION PURPOSES.
- EXISTING INFORMATION SHOWN HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION, CONSTRUCTION LAYOUT OR ORDERING MATERIALS. THE ENTITY RESPONSIBLE FOR CONSTRUCTION LAYOUT SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF INFORMATION SHOWN WITHIN THESE DOCUMENTS UTILIZING AN INDEPENDENT VERIFICATION AND IMMEDIATELY REPORT ANY DEVIATIONS TO DRESDNER ROBIN PRIOR TO CONSTRUCTION.
- THE IMPLEMENTATION OF ALL APPLICABLE WORKSITE SAFETY REGULATIONS, INCLUDING THOSE REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OSHA WORKSITE SAFETY REGULATIONS ARE PUBLISHED AT 29 CFR 1926 WITHIN VARIOUS SUBPARTS RELATIVE TO SPECIFIC TYPES OF WORK. DRESDNER ROBIN TAKES NO RESPONSIBILITY FOR WORKSITE SAFETY PROVISIONS RELATIVE TO THE ON-SITE WORK FORCE.

### EXCHANGE PLACE ALLIANCE

HARBORSIDE 2 - 200 HUDSON STREET - SUITE 801 JERSEY CITY, NJ 07311

<b>BOARD OF DIRECTORS</b>	<b>STAFF</b>
MICHAEL J. DEMARCO	ELIZABETH CAIN
PRESIDENT	EXECUTIVE DIRECTOR
MACK-CALI	MARTIN SCHMID
JOYCE WATTERMAN	ECONOMIC DEVELOPMENT MANAGER
CITY COUNCIL REPRESENTATIVE	
RICARDO CARDOSA	
MACK-CALI	
GUS MILANO	
HARTZ MOUNTAIN	
STEVE POZYCKI	
SIP PROPERTIES	
ANDY SIEGEL	
HISTORIC PAULUS HOOK ASSOCIATION	
JEREMY FARRELL	
LEFRAK	

### ZONING TABLE

SITE STATISTICS	
EXCHANGE PLACE R.O.W. AND PORTIONS OF LOT 2 OF BLOCK 11604	
Site Statistics:	PROVIDED
Principal Use	Urban park
Accessory Uses	Access drive, sidewalks, landscaping, lawn areas, playground, etc
Site Area	1.77 acres
Site Coverage	74.0%
Signage	One (1) monument sign, wayfinding signage
Landscaping	See landscaping plans

### SHEET INDEX

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	DATE	PREPARED BY
1	G-001	COVER SHEET	06-10-2022	DRESDNER ROBIN
2	C-301	SITE LAYOUT PLAN	06-10-2022	DRESDNER ROBIN
2	C-311	VEHICLE MANEUVERING PLAN	06-10-2022	DRESDNER ROBIN
4	C-401	GRADING, DRAINAGE AND UTILITY PLAN	06-10-2022	DRESDNER ROBIN
5	C-801	SOIL EROSION AND SEDIMENT CONTROL PLAN	06-10-2022	DRESDNER ROBIN
6	C-802	SOIL EROSION CONTROL NOTES AND DETAILS	06-10-2022	DRESDNER ROBIN
7	C-901	CONSTRUCTION DETAILS I	06-10-2022	DRESDNER ROBIN
8	C-902	CONSTRUCTION DETAILS II	06-10-2022	DRESDNER ROBIN

### AGENCY CONTACTS

**JERSEY CITY DIVISION OF CITY PLANNING**  
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PHONE: 201.547.5010

**JERSEY CITY DIVISION OF ENGINEERING**  
PAUL RUSSO, P.E. CITY ENGINEER  
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**HUDSON COUNTY DIVISION OF PLANNING**  
FRANCESCA GIARRATANA, DIRECTOR  
BERGEN SQUARE CENTER  
330 BERGEN AVENUE, SUITE 6A  
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PHONE: 201.217.5137

**ELECTRIC AND GAS UTILITY CARRIER**  
PUBLIC SERVICE ELECTRIC & GAS CO. (PSE&G)  
JOHN GUADAZOSKI  
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SECAUCUS, NJ 07094  
PHONE: 201.832.7129

**TELEPHONE AND BROADBAND**  
VERIZON COMMUNICATIONS  
ED SANCHEZ  
540 BROAD STREET  
NEWARK, NJ 07102

**CABLE AND BROADBAND**  
COMCAST OF JERSEY CITY  
KEVIN DAVIS  
2121 KENNEDY BOULEVARD,  
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PHONE: 201.205.2039

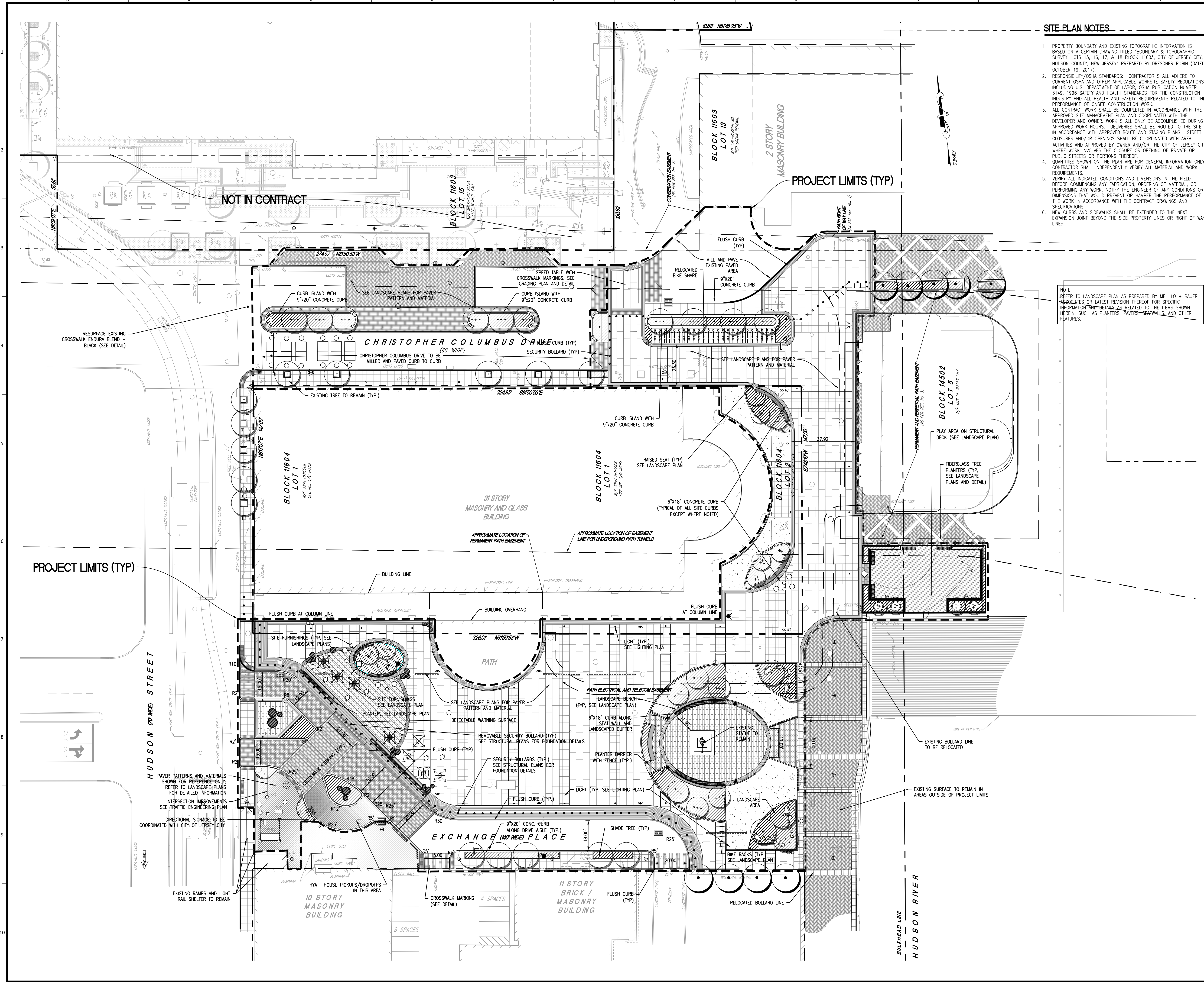
**WATER AND SEWER UTILITY AUTHORITY**  
JERSEY CITY MUNICIPAL UTILITIES AUTHORITY  
RICHARD HAYTAS, CHIEF ENGINEER  
13-15 LINDEN AVENUE EAST  
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**WATER SUPPLY**  
SUEZ JERSEY CITY  
JOSEPH SENSALA  
60 DEVON PLACE  
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**SEWAGE TREATMENT**  
PASSAIC VALLEY SEWERAGE COMMISSION  
FRANK GRANT  
600 WILSON AVENUE  
NEWARK, NJ 07105  
PHONE: 973.344.4218

<p>REVISIONS:</p> <table border="0"> <tr> <td>01</td> <td>06/10/2022</td> <td>ISSUED FOR PERMIT</td> <td>GRS</td> </tr> <tr> <td>NO.</td> <td>DATE</td> <td>DESCRIPTION</td> <td>BY</td> </tr> </table>	01	06/10/2022	ISSUED FOR PERMIT	GRS	NO.	DATE	DESCRIPTION	BY	<p>OWNER:</p> <p><b>CITY OF JERSEY CITY</b> 280 GROVE STREET JERSEY CITY, NJ 07302</p>
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<p>APPLICANT:</p> <p><b>EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT</b> HARBORSIDE 2 200 HUDSON STREET, SUITE 801 JERSEY CITY, NJ 07311</p>									
<p><b>MATTHEW J. NEULS</b> PROFESSIONAL ENGINEER NJ LICENSE NUMBER: 4662433300</p>									
<p>DRAWING TITLE:</p> <p><b>COVER SHEET</b></p>									
<p>PROJECT:</p> <p><b>EXCHANGE PLACE PLAZA IMPROVEMENTS</b></p>									
<p>LOCATION:</p> <p>EXCHANGE PLACE CITY OF JERSEY CITY HUDSON COUNTY, NEW JERSEY, 07302</p>									
<p>SCALE:</p> <p><b>AS NOTED</b></p>									
<p>DRAWN BY: <b>CW</b>    CHECKED BY: <b>MJN</b>    DRAWING NUMBER:</p> <p>SCALE:    DATE: <b>04-14-2022</b>    <b>G-001</b></p> <p>FOR NO: <b>10491-006</b>    SHEET <b>01</b> OF <b>08</b></p>									

NOT FOR CONSTRUCTION



**SITE PLAN NOTES**

- PROPERTY BOUNDARY AND EXISTING TOPOGRAPHIC INFORMATION IS BASED ON A CERTAIN DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY; LOTS 15, 16, 17, & 18 BLOCK 11603; CITY OF JERSEY CITY; HUDSON COUNTY, NEW JERSEY" PREPARED BY DRESDNER ROBIN (DATED OCTOBER 19, 2017).
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- VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
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NOTE:  
REFER TO LANDSCAPE PLAN AS PREPARED BY MELILLO + BAUER ASSOCIATES OR LATEST REVISION THEREOF FOR SPECIFIC INFORMATION AND DETAILS AS RELATED TO THE ITEMS SHOWN HEREIN, SUCH AS PLANTERS, PAVERS, SEATWALLS, AND OTHER FEATURES.

**DRESDNER ROBIN**

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
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TEL: 201.217.9200 FAX: 201.217.9607  
NJ CERTIFICATE OF AUTHORIZATION: 2462792600

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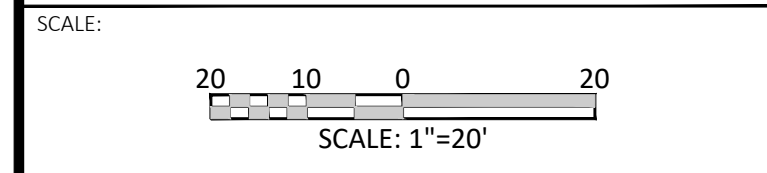
APPLICANT:  
**EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT**  
HARBORSIDE 2  
200 HUDSON STREET, SUITE 801  
JERSEY CITY, NJ 07311

**MATTHEW J. NEULS**  
PROFESSIONAL ENGINEER  
NJ LICENSE NUMBER 24604313300

DRAWING TITLE:  
**SITE PLAN**

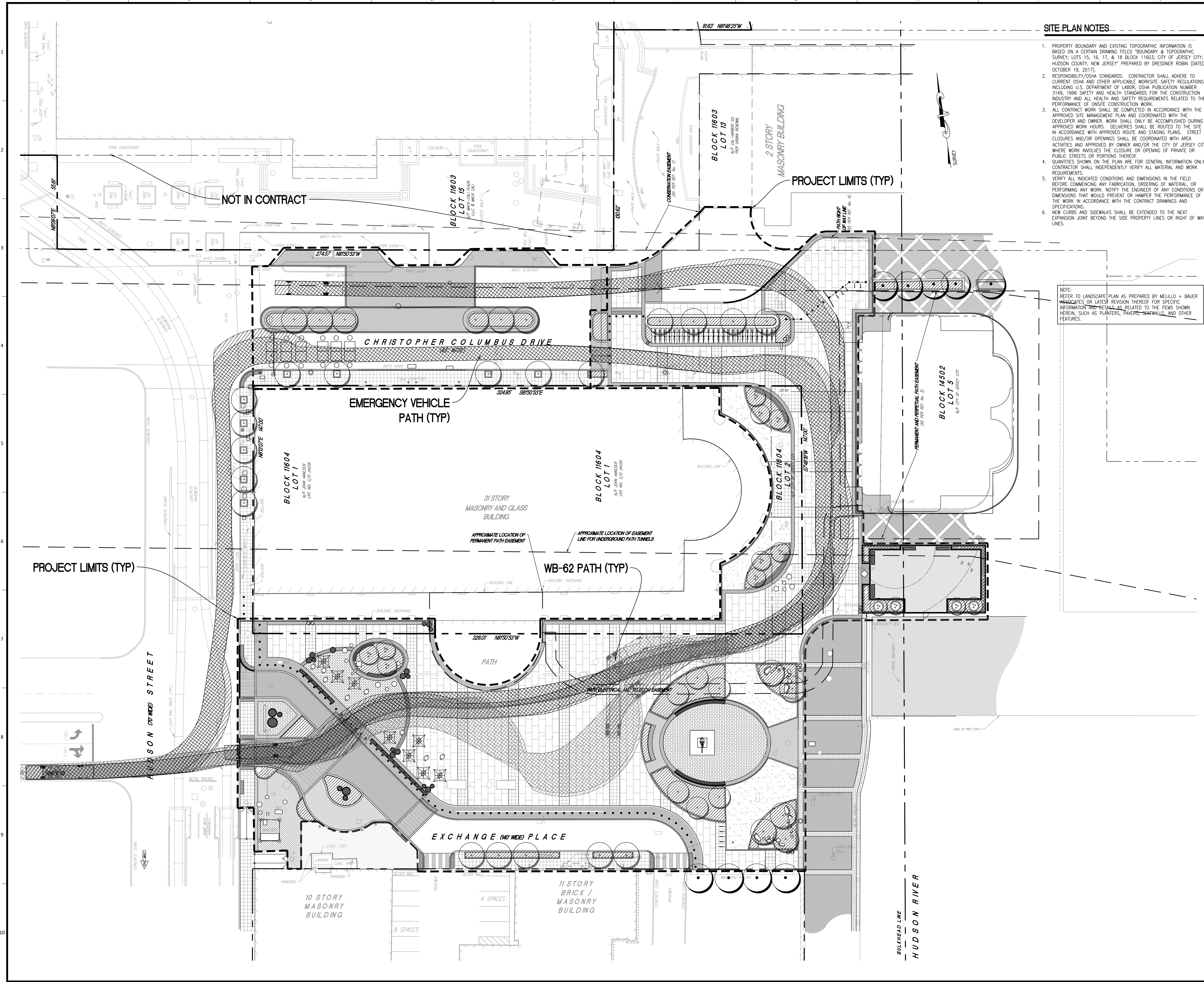
PROJECT:  
**EXCHANGE PLACE PLAZA IMPROVEMENTS**

LOCATION:  
EXCHANGE PLACE  
CITY OF JERSEY CITY  
HUDSON COUNTY,  
NEW JERSEY, 07302



DRAWN BY: <b>CW/GRG</b>	CHECKED BY: <b>MJN</b>	DRAWING NUMBER: <b>C-301</b>
SCALE: 1"=20'	DATE: 04-14-2022	
JOB NO: 10491-006	SHEET 02	OF 08

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**SITE PLAN NOTES**

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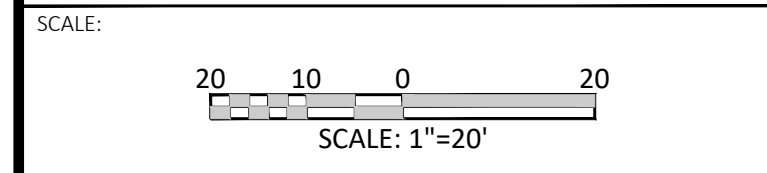
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HARBORSIDE 2  
200 HUDSON STREET, SUITE 801  
JERSEY CITY, NJ 07311

**MATTHEW J. NEULS**  
PROFESSIONAL ENGINEER  
NJ LICENSE NUMBER 24624313300

DRAWING TITLE:  
**VEHICLE MANEUVERING PLAN**

PROJECT:  
**EXCHANGE PLACE PLAZA IMPROVEMENTS**

LOCATION:  
EXCHANGE PLACE  
CITY OF JERSEY CITY  
HUDSON COUNTY,  
NEW JERSEY, 07302



DRAWN BY: <b>CW/GRG</b>	CHECKED BY: <b>MJN</b>	DRAWING NUMBER: <b>C-311</b>
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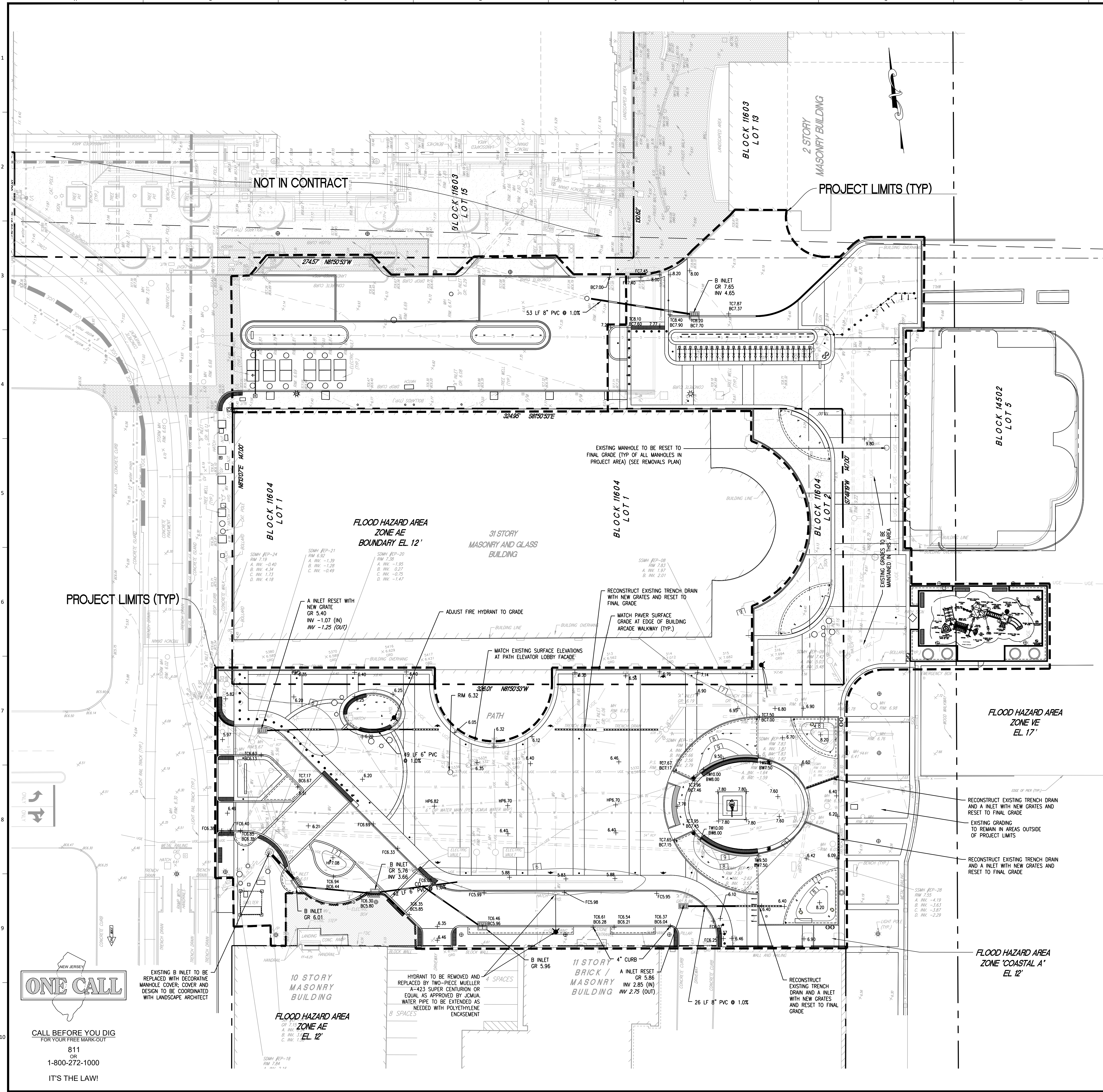
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**GRADING, DRAINAGE AND UTILITIES PLAN NOTES**

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- CONTRACTOR SHALL CONTACT AND COORDINATE WITH ANY PRIVATE UTILITY OPERATIONS PRIOR TO DISTURBANCE OR DISRUPTION TO SAID UTILITIES AFFECTED BY THE PROJECT.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION, ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- UTILIZE A MOBILE SWEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE HAUL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. STREETS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT EACH DAY.
- IN ALL CASES, WALKS & PARKING AREAS TO BE PITCHED TOWARD DRAINAGE STRUCTURES TO PREVENT PONDING.
- SURFACE SHALL BE FREE OF DEPRESSIONS CAUSING PONDING. CONTRACTOR SHALL TEST FINISHED SURFACE AND CONFIRM NO PONDING OCCURS IN ALL AREAS. ANY DEFECTS SHALL BE REPAIRED BY CONTRACTOR.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER OF COLLAPSE. TAKE ALL ACTIONS NECESSARY TO STABILIZE SAID STRUCTURE AND AREA.
- ALL REPAIRS AND RE-PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT EXISTING LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADE AND SURFACE FINISHES WHERE NOTED.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES IN AREA OF WORK SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- USE TYPE 1-12 FILL AND BACKFILL, EXCEPT FOR BEDDING MATERIALS USE AS SHOWN ON CONSTRUCTION DETAIL DRAWINGS.
- RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1996 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- ALL CONTRACT WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED SITE MANAGEMENT PLAN AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. WORK SHALL ONLY BE ACCOMPLISHED DURING APPROVED WORK HOURS. DELIVERIES SHALL BE ROUTED TO THE SITE IN ACCORDANCE WITH APPROVED ROUTE AND STAGING PLANS. STREET CLOSURES AND/OR OPENINGS SHALL BE COORDINATED WITH AREA ACTIVITIES AND APPROVED BY THE CITY OF JERSEY CITY WHERE WORK INVOLVES THE CLOSURE OR OPENING OF DEDICATED STREETS RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES AND AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES AND TUNNEL SECTIONS WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES AND TUNNELS SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK AND ARE NOT TO CONSIDER A LATENT OR UNFORSEEN SITE CONDITION.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- FOUR DAYS PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE-CALL: 1-800-272-1000 OR 811 FOR UTILITY MARKOUT OF CITY AND COUNTY UTILITIES. ALL DISCONNECTION, TERMINATION, RELOCATION OR BYPASSING OF WATER, SEWER, GAS, ELECTRIC, CABLE TELEVISION, AND OTHER FACILITIES THAT ARE UNDERTAKEN AS PART OF THE WORK SHALL BE DONE IN CONFORMANCE WITH WRITTEN APPROVAL, AND WITH THE REQUIREMENTS OF THE MUNICIPALITY OR UTILITY COMPANY HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT PSE&G DEMOLITION DIVISION AT (908) 709-6861 FOR INSPECTION OF THE ITEMS TO BE REMOVED PRIOR TO DEMOLITION/CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PSE&G THROUGHOUT DEMOLITION AND CONSTRUCTION ON THIS PROJECT.
- THE OWNER RESERVES THE RIGHT TO ADJUST UTILITY ENTRY POINTS INTO THE BUILDING SUCH THAT NO CHANGE TO THE CONTRACT PRICE IS REALIZED.
- PROPOSED SERVICE LINE SIZES AT WALL PENETRATION ARE SUBJECT TO FINAL DESIGN BY THE BUILDING MECHANICAL, ELECTRICAL AND PLUMBING ENGINEER.
- THE CONTRACTOR MUST FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT TOOLS, AND MANAGEMENT SERVICES NECESSARY FOR PROPER AND COMPLETE EXECUTION OF ALL UTILITY CONSTRUCTION, WITHOUT RESTRICTING THE GENERALITY OF THE FOREGOING, THE FOLLOWING ITEMS ARE INCLUDED:
  - INSTALLATION OF PERMANENT AND TEMPORARY UTILITY WORK INCLUDING ALL APPURTENANCES NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND/OR AS REQUIRED TO MAKE THE INSTALLATION FUNCTION IN ACCORDANCE WITH THE GENERAL INTENT OF THE DOCUMENTS.
  - TEMPORARY CUTOFFS, RELOCATIONS OR BYPASS PUMPING OF ALL EXISTING UTILITIES AFFECTED BY THE WORK.
  - EXCAVATION, BACKFILL, FILLING AND COMPACTION OF TRENCHES FOR UTILITY CUTOFFS.
  - EXCAVATION, CUTTING, REMOVAL, BACKFILL AND DISPOSAL OF ANY ABANDONED UTILITIES AND/OR STRUCTURES ENCOUNTERED WITHIN THE WORK. UTILITY TRENCHES SHALL BE CLEARED OF ALL OBSTRUCTIONS WITHIN 24-INCHES OF ALL NEW FACILITIES.
  - THE REMOVAL, STOCKPILING OR CONVEYANCE OF ANY CONTAMINATED SOIL AND GROUNDWATER MEDIA ENCOUNTERED DURING THE COURSE OF THE WORK IS PROHIBITED. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND OWNER IF SUSPECT MATERIAL IS ENCOUNTERED.
  - SUBSOIL EXPOSED DURING EXCAVATION MUST BE PROTECTED.
- AT ANY LOCATION WHERE FOUNDATION CONFLICT WITH BURIED UTILITY CANNOT BE AVOIDED, THE FOUNDATIONS WILL REQUIRE SUITABLE NOTCHING AND/OR SLEEVING AROUND THE UTILITY, INCLUDING SUITABLE ISOLATION TO AVOID DISRUPTING THE UTILITY. SUBJECT TO REVIEW AND APPROVAL BY THE FOUNDATION DESIGNER AND UTILITY OWNER.

**DRESDNER ROBIN**

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
 1 EVERHURST PLAZA, SUITE 901, JERSEY CITY, NJ 07310  
 TEL: 201.217.9200 FAX: 201.217.9607  
 NJ CERTIFICATE OF AUTHORIZATION: 246A27926000  
 JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL



DATE	ISSUED FOR PERMIT	DESCRIPTION	BY
01/06/2022	ISSUED FOR PERMIT		GRG

OWNER:	REVISIONS:
<b>CITY OF JERSEY CITY</b> 280 GORGE STREET JERSEY CITY, NJ 07302	

APPLICANT:	REVISIONS:
<b>EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT</b> HARBORSIDE 2 200 HUDSON STREET, SUITE 801 JERSEY CITY, NJ 07311	

DRAWING TITLE:
<b>GRADING, DRAINAGE AND UTILITY PLAN</b>

PROJECT:
<b>EXCHANGE PLACE PLAZA IMPROVEMENTS</b>

LOCATION:
EXCHANGE PLACE CITY OF JERSEY CITY HUDSON COUNTY, NEW JERSEY, 07302

DRAWN BY:	CHECKED BY:	DRAWING NUMBER:
CW/GRG	MJN	<b>C-401</b>

SCALE:	DATE:	SHEET:	OF:
1"=20'	04-14-2022	04	08

10491-006 SHEET 04 OF 08

**ONE CALL**  
 CALL BEFORE YOU DIG  
 FOR YOUR FREE MARK-OUT  
 811  
 OR  
 1-800-272-1000  
 IT'S THE LAW!

DATE: 04/14/2022 4:44 PM MJN

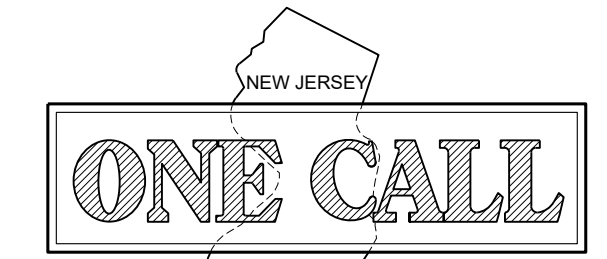
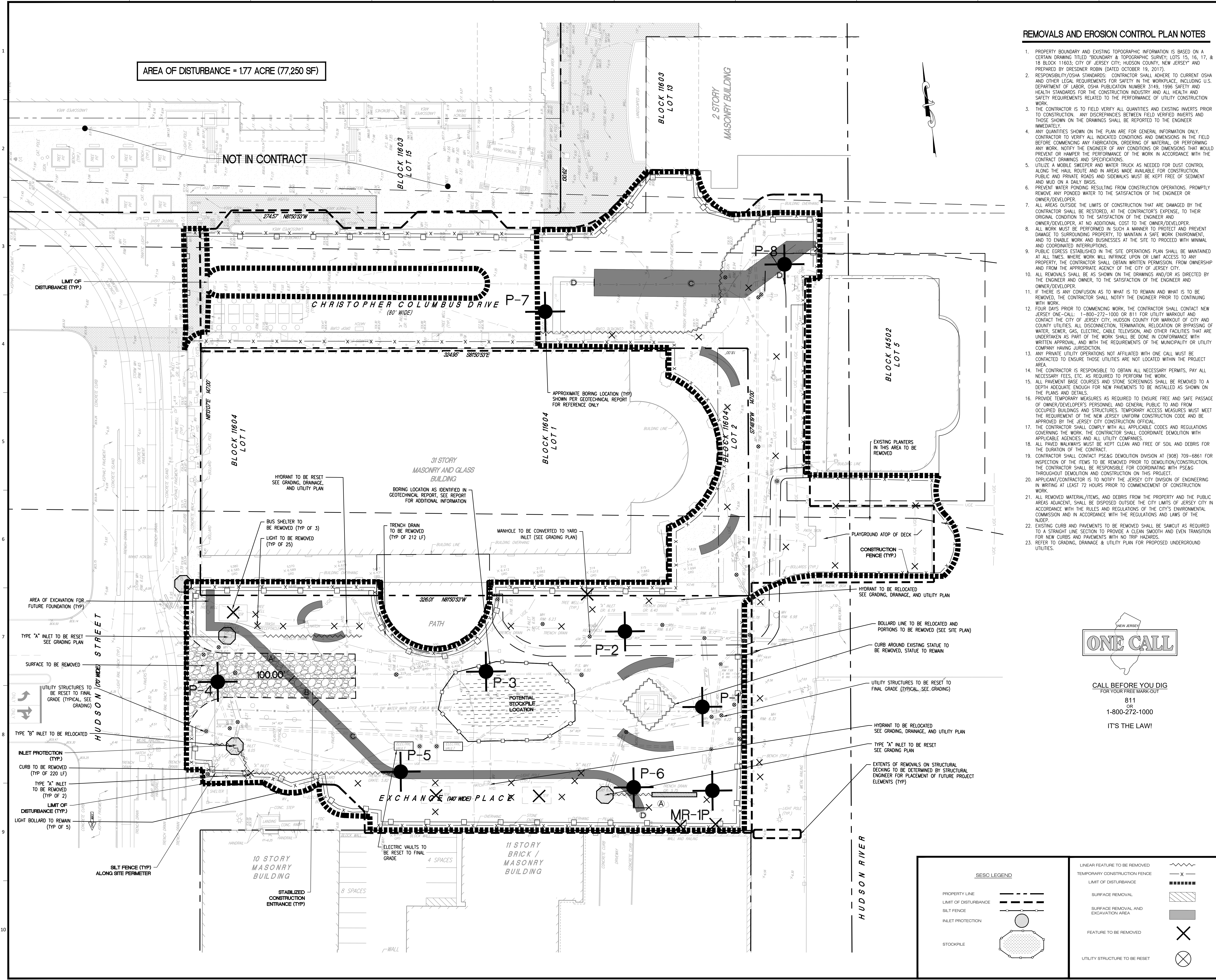
AREA OF DISTURBANCE = 1.77 ACRE (77,250 SF)

REMOVALS AND EROSION CONTROL PLAN NOTES

- PROPERTY BOUNDARY AND EXISTING TOPOGRAPHIC INFORMATION IS BASED ON A CERTAIN DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY; LOTS 15, 16, 17, & 18 BLOCK 11603; CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" AND PREPARED BY DRESDNER ROBIN (DATED OCTOBER 19, 2017).
- RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1996 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- UTILIZE A MOBILE SWEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE HAUL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. PUBLIC AND PRIVATE ROADS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT AND MUD ON A DAILY BASIS.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER OR OWNER/DEVELOPER.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER/DEVELOPER. AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER, PUBLIC AND PRIVATE ROADS MUST BE PERFORMED IN SUCH A MANNER TO PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- PUBLIC EGRESS ESTABLISHED IN THE SITE OPERATIONS PLAN SHALL BE MAINTAINED AT ALL TIMES. WHERE WORK WILL INFRINGE UPON OR LIMIT ACCESS TO ANY PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION, FROM OWNERSHIP AND FROM THE APPROPRIATE AGENCY OF THE CITY OF JERSEY CITY.
- ALL REMOVALS SHALL BE AS SHOWN ON THE DRAWINGS AND/OR AS DIRECTED BY THE ENGINEER AND OWNER, TO THE SATISFACTION OF THE ENGINEER AND OWNER/DEVELOPER.
- IF THERE IS ANY CONFUSION AS TO WHAT IS TO REMAIN AND WHAT IS TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WITH WORK.
- FOUR DAYS PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE-CALL: 1-800-272-1000 OR 811 FOR UTILITY MARK-OUT AND CONTACT THE CITY OF JERSEY CITY, HUDSON COUNTY FOR MARK-OUT OF CITY AND COUNTY UTILITIES. ALL DISCONNECTION, TERMINATION, RELOCATION OR BYPASSING OF WATER, SEWER, GAS, ELECTRIC, CABLE TELEVISION, AND OTHER FACILITIES THAT ARE UNDERGROUND AS PART OF THE WORK SHALL BE DONE IN CONFORMANCE WITH WRITTEN APPROVAL, AND WITH THE REQUIREMENTS OF THE MUNICIPALITY OR UTILITY COMPANY HAVING JURISDICTION.
- ANY PRIVATE UTILITY OPERATIONS NOT AFFILIATED WITH ONE CALL MUST BE CONTACTED TO ENSURE THOSE UTILITIES ARE NOT LOCATED WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, PAY ALL NECESSARY FEES, ETC. AS REQUIRED TO PERFORM THE WORK.
- ALL PAVEMENT BASE COURSES AND STONE SCREENINGS SHALL BE REMOVED TO A DEPTH ADEQUATE ENOUGH FOR NEW PAVEMENTS TO BE INSTALLED AS SHOWN ON THE PLANS AND DETAILS.
- PROVIDE TEMPORARY MEASURES AS REQUIRED TO ENSURE FREE AND SAFE PASSAGE OF OWNER/DEVELOPER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED BUILDINGS AND STRUCTURES. TEMPORARY ACCESS MEASURES MUST MEET THE REQUIREMENT OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND BE APPROVED BY THE JERSEY CITY CONSTRUCTION OFFICIAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH APPLICABLE AGENCIES AND ALL UTILITY COMPANIES.
- ALL PAVED MALWAYS MUST BE KEPT CLEAN AND FREE OF SOIL AND DEBRIS FOR THE DURATION OF THE CONTRACT.
- CONTRACTOR SHALL CONTACT PSE&G DEMOLITION DIVISION AT (908) 709-6861 FOR INSPECTION OF THE ITEMS TO BE REMOVED PRIOR TO DEMOLITION/CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PSE&G THROUGHOUT DEMOLITION AND CONSTRUCTION ON THIS PROJECT.
- APPLICANT/CONTRACTOR IS TO NOTIFY THE JERSEY CITY DIVISION OF ENGINEERING IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
- ALL REMOVED MATERIAL/ITEMS, AND DEBRIS FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE N.J.C.E.C.
- EXISTING CURB AND PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AS REQUIRED TO A STRAIGHT LINE SECTION TO PROVIDE A CLEAN SMOOTH AND EVEN TRANSITION FOR NEW CURBS AND PAVEMENTS WITH NO TRIP HAZARDS.
- REFER TO GRADING, DRAINAGE & UTILITY PLAN FOR PROPOSED UNDERGROUND UTILITIES.

DRESDNER ROBIN

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NJ CERTIFICATE OF AUTHORIZATION: 356293000  
JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL



SESC LEGEND	
PROPERTY LINE	--- --
LIMIT OF DISTURBANCE	-----
SILT FENCE	--- X ---
INLET PROTECTION	○
STOCKPILE	⊗
LINEAR FEATURE TO BE REMOVED	~~~~~
TEMPORARY CONSTRUCTION FENCE	-X-
LIMIT OF DISTURBANCE	-----
SURFACE REMOVAL	▨
SURFACE REMOVAL AND EXCAVATION AREA	■
FEATURE TO BE REMOVED	X
UTILITY STRUCTURE TO BE RESET	⊗

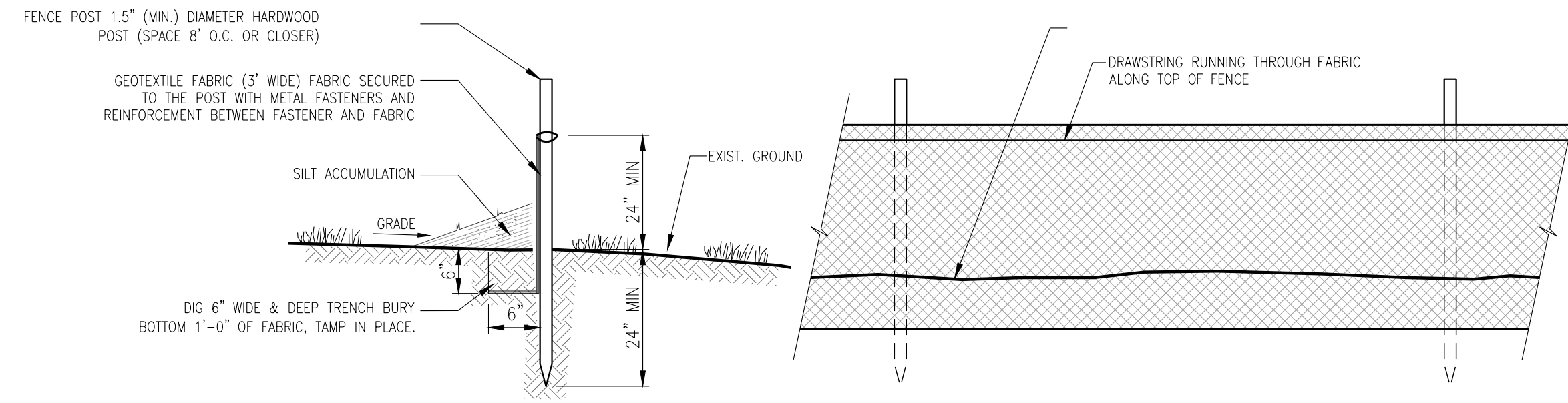
01 06/10/2022	ISSUED FOR PERMIT	GRS
NO. DATE	DESCRIPTION	REV.
REVISIONS:		
OWNER: <b>CITY OF JERSEY CITY</b> 280 GROVE STREET JERSEY CITY, NJ 07302		
APPLICANT: <b>EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT</b> HARBORSIDE 2 200 HUDSON STREET, SUITE 801 JERSEY CITY, NJ 07311		
DRAWING TITLE: <b>REMOVALS, EROSION, AND SEDIMENT CONTROL PLAN</b>		
PROJECT: <b>EXCHANGE PLACE PLAZA IMPROVEMENTS</b>		
LOCATION: EXCHANGE PLACE CITY OF JERSEY CITY HUDSON COUNTY, NEW JERSEY, 07302		
SCALE: 20 10 0 20 SCALE: 1"=20'		
DRAWN BY: CW/GRG	CHECKED BY: MJN	DRAWING NUMBER: <b>C-801</b>
SCALE: 1"=20'	DATE: 04-14-2022	
FOR NO: 10491-006	SHEET 05 OF 08	

# DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
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TEL: 201.217.9200 FAX: 201.217.9607  
NY CERTIFICATE OF AUTHORIZATION: 13642792000  
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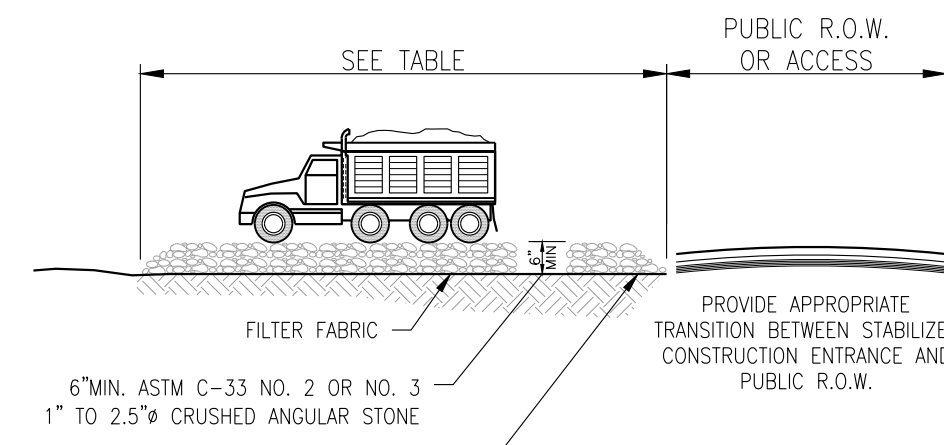
## HUDSON ESSEX PASSAIC - SOIL CONSERVATION DISTRICT - SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER PER APPROX AS THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITH MOST LOCATIONS IN THE HEPSCOD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING IT DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4502 OR EMAIL - INFORMATION@HEPCOD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - TOWNSHIP OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BINS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMS IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS, NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.



- NOTES:**
- FENCE POSTS SHALL BE SPACED 8 FEET ON CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 3/4 INCHES.
  - A METAL FENCE WITH 6 INCH OPENING OR SMALLER AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
  - A GEOTEXTILE FABRIC RECOMMENDED FOR SUCH USE BY THE MANUFACTURER SHALL BE BURIED AT LEAST 6 INCHES IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GRAMMETS, WASHERS ETC) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.
- MAINTENANCE:**
- SILT FENCE SHALL BE INSPECTED AFTER EVERY RAIN EVENT. ANY DAMAGE MUST BE REPAIRED IMMEDIATELY.
  - SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UPSTREAM SIDE OF THE SILT FENCE WHEN IT ACCUMULATES TO THE EXTENT THAT VISIBLE BULGES DEVELOP IN THE FENCE OR REACHES HALFWAY UP THE FENCE.
  - SILT FENCE SHALL NOT BE REMOVED AFTER VEGETATIVE GROWTH OR OTHER STABILIZATION MEASURES HAVE BEEN ACHIEVED.

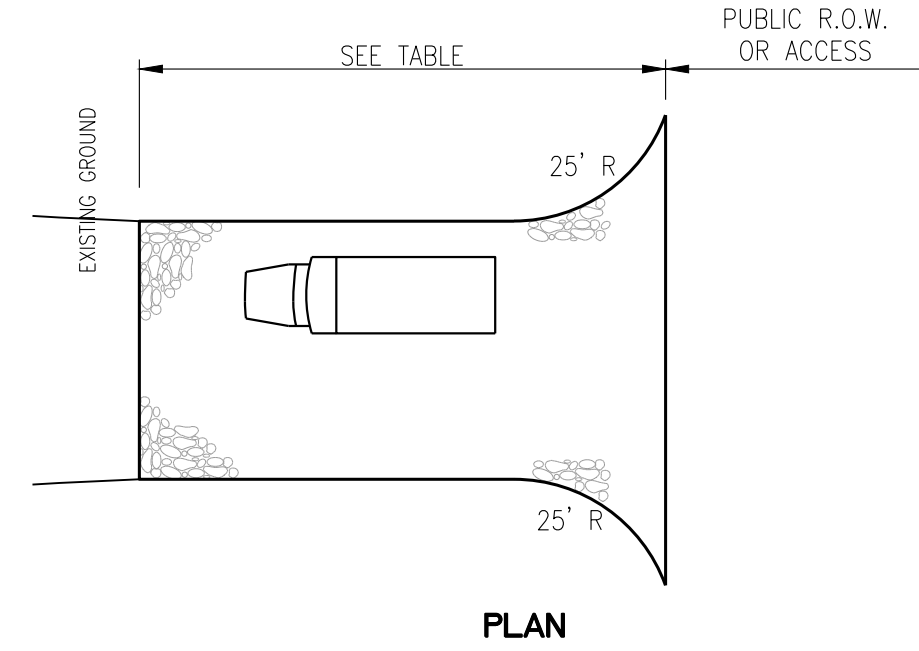
### SILT FENCE



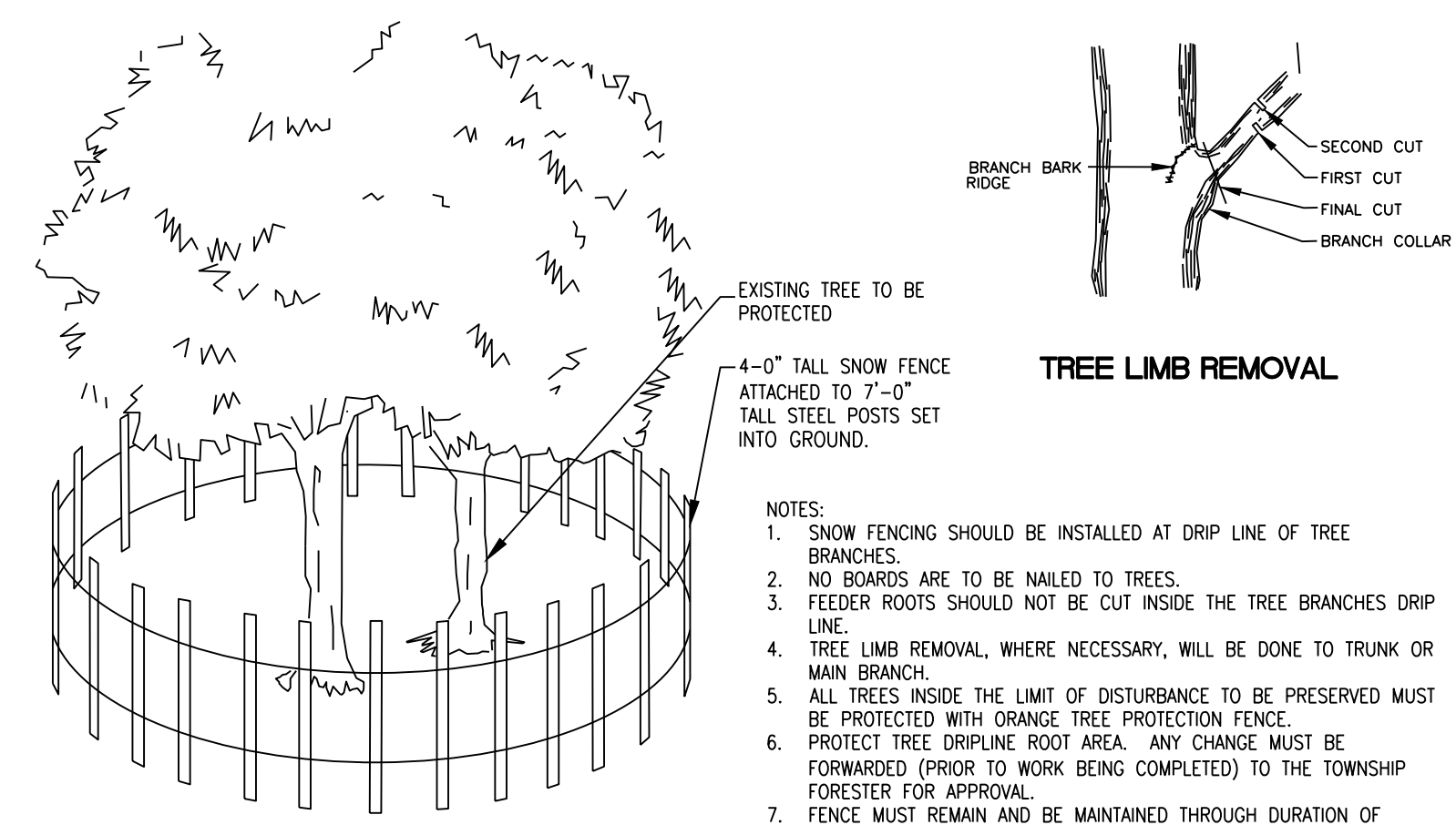
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	COARSE GRAINED SOILS   FINE GRAINED SOILS
2 TO 5%	50 FT.   100 FT.
>5%	100 FT.   200 FT.

ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX 1-2

- NOTES:**
- CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE IF THE AREA OF FULL DEPTH PAVEMENT RESTORATION IS EXPOSED AND HEAVY VEHICLE TRAFFIC IS EXPECTED, WHICH MAY CARRY SEDIMENT ONTO THE ADJACENT ROADWAY, AND/OR WASH DURING RAINFALL.
  - WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.

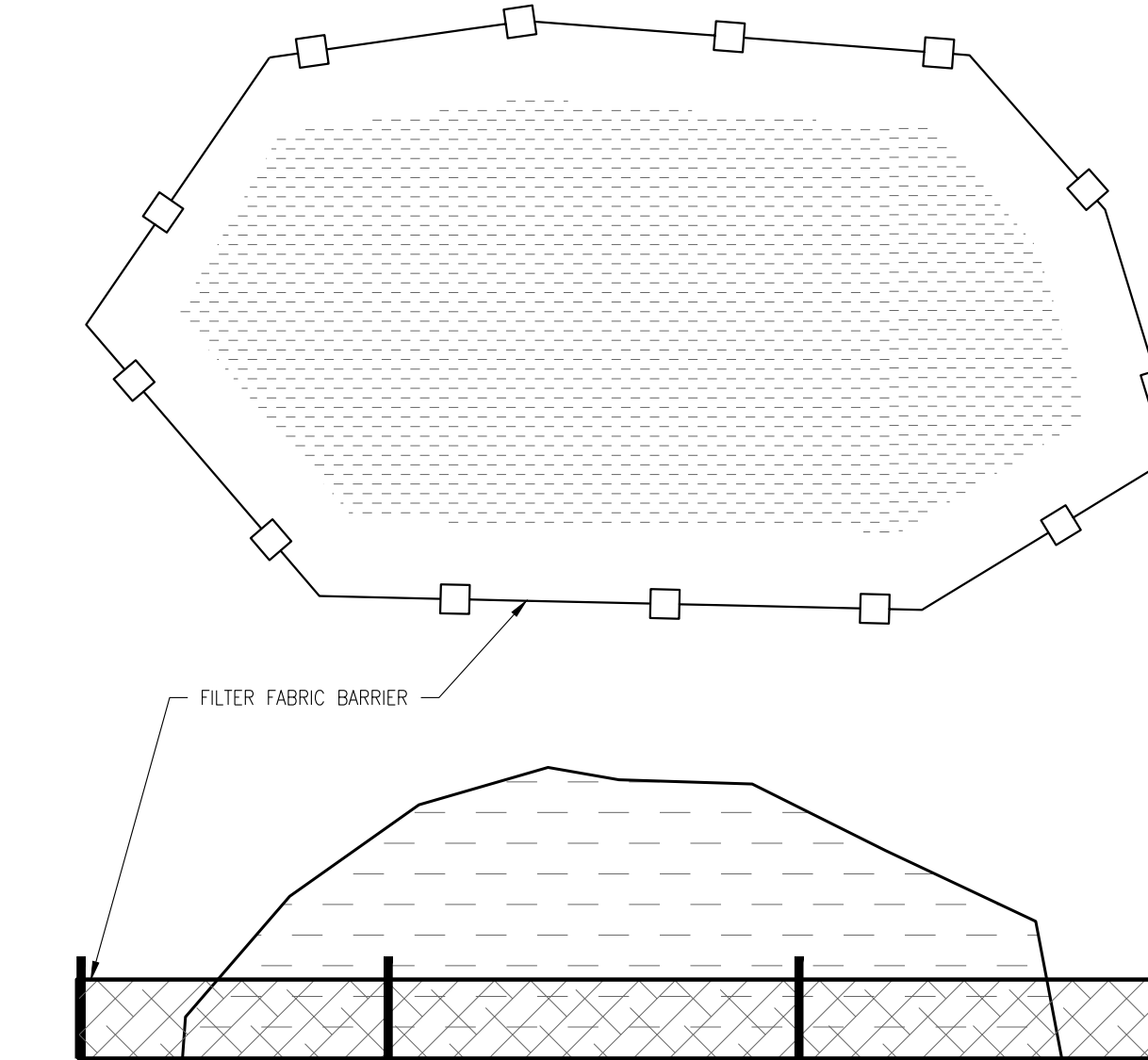


### STABILIZED CONSTRUCTION ACCESS



- NOTES:**
- SNOW FENCING SHOULD BE INSTALLED AT DRIP LINE OF TREE BRANCHES.
  - NO BRANCHES ARE TO BE NAILED TO TREES.
  - FEEDER ROOTS SHOULD NOT BE CUT INSIDE THE TREE BRANCHES DRIP LINE.
  - TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE TO TRUNK OR MAIN BRANCH.
  - ALL TREES INSIDE THE LIMIT OF DISTURBANCE TO BE PRESERVED MUST BE PROTECTED WITH ORANGE TREE PROTECTION FENCE.
  - PROTECT TREE DRIPLINE ROOT AREA. ANY CHANGE MUST BE FORWARDED (PRIOR TO WORK BEING COMPLETED) TO THE TOWNSHIP FORESTER FOR APPROVAL.
  - FENCE MUST REMAIN AND BE MAINTAINED THROUGH DURATION OF CONSTRUCTION.

### TREE PROTECTION

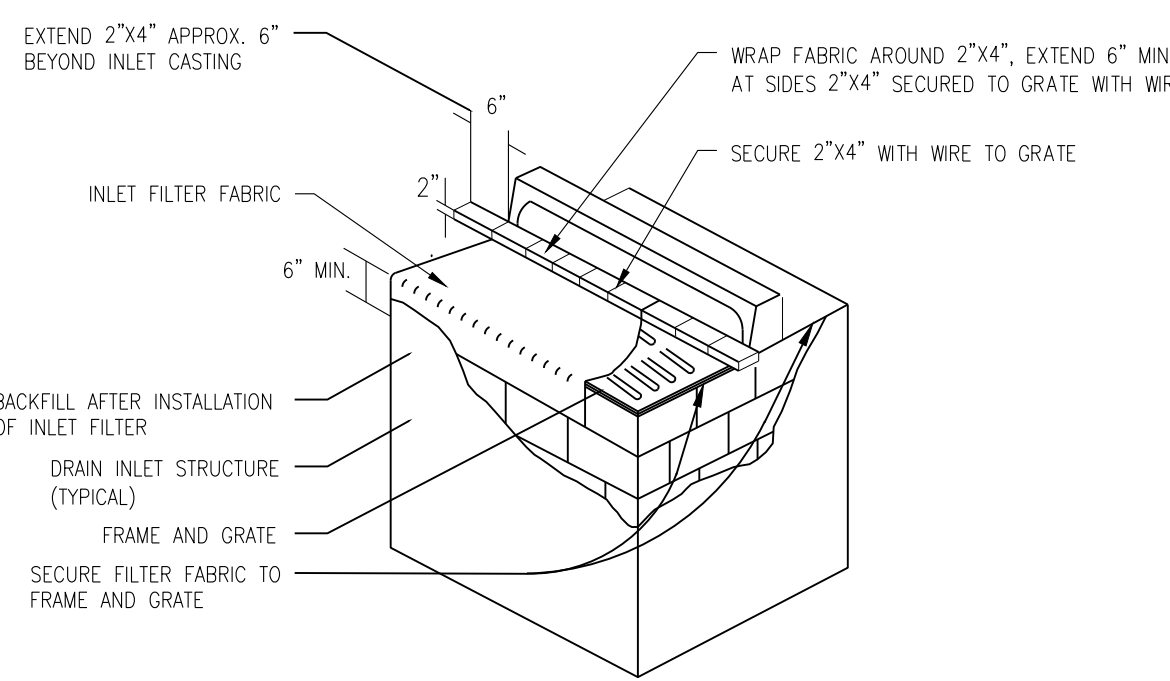
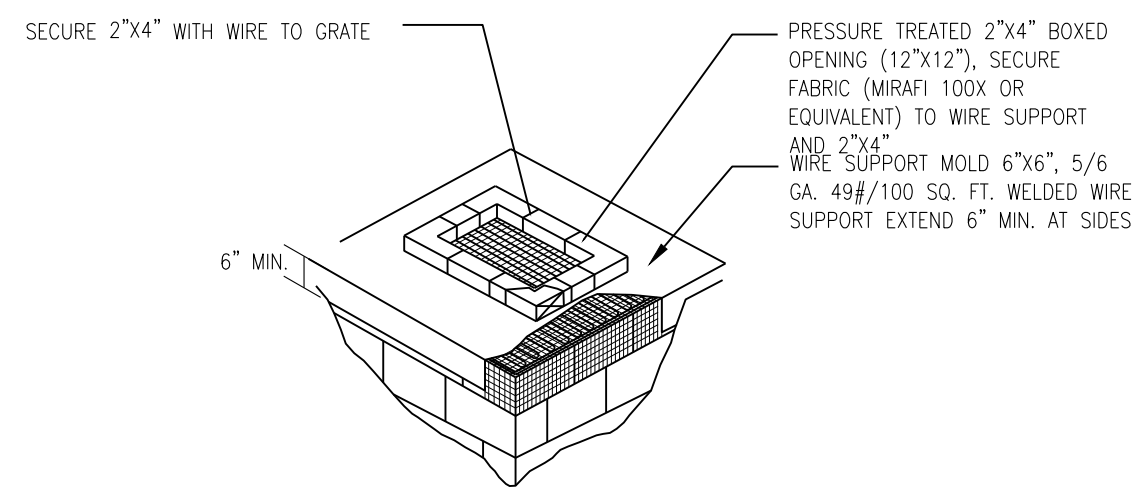


**NOTE:** FILTER FABRIC INSTALLED PER DETAIL. SOIL STOCKPILES OF FINE PARTICLES TO BE COVERED OR STABILIZED WITH VEGETATION.

### STOCKPILE

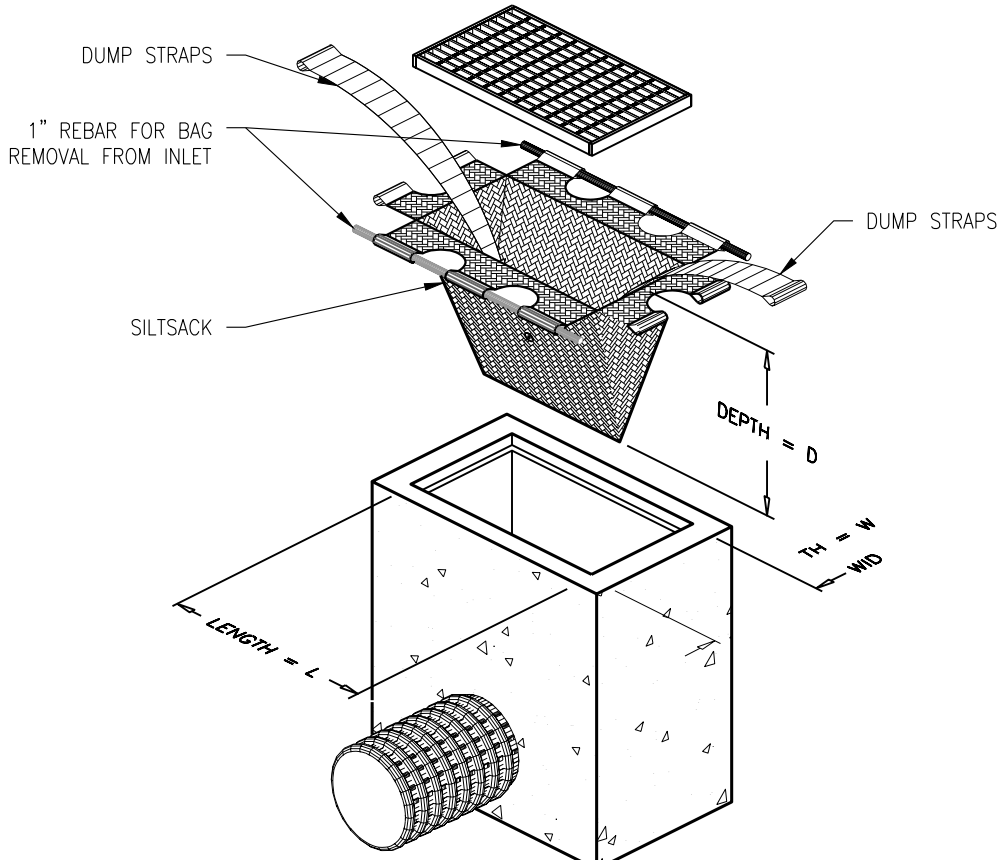
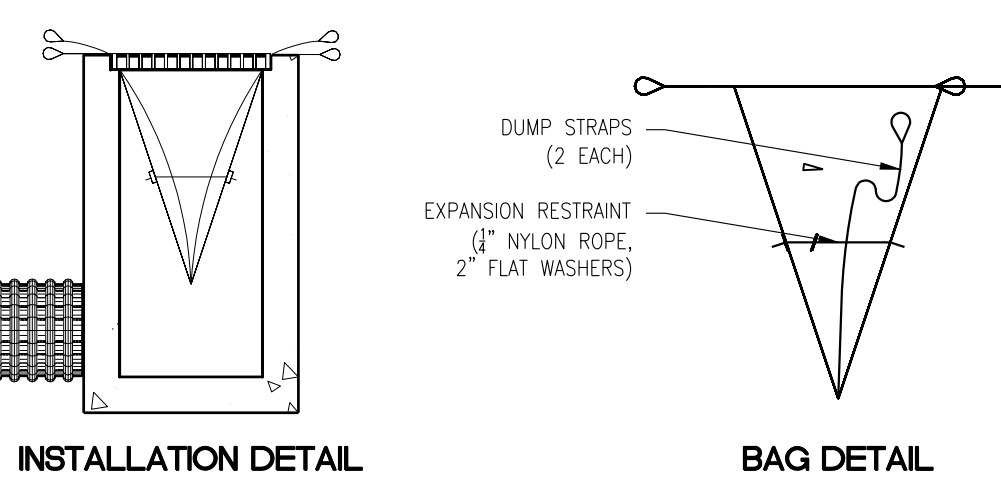
### SEQUENCE OF CONSTRUCTION

SEQUENCE OF CONSTRUCTION	DURATION
1. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT, IN WRITING, 72 HOURS PRIOR TO ANY LAND DISTURBANCE.	3 DAYS
2. INSTALL SILT FENCE AND INLET PROTECTION.	1 WEEK
3. REMOVE EXISTING FEATURES TO CONSTRUCT IMPROVEMENTS.	1 MONTHS
4. INSTALL UNDERGROUND UTILITIES	3 MONTHS
5. INSTALL LIGHTING AND LANDSCAPING.	4 MONTHS
6. REMOVE THE SOIL EROSION MEASURES AND STABILIZE THE ENTIRE SITE.	1 WEEK
7. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION AND OBTAIN A REPORT OF COMPLIANCE.	3 DAYS

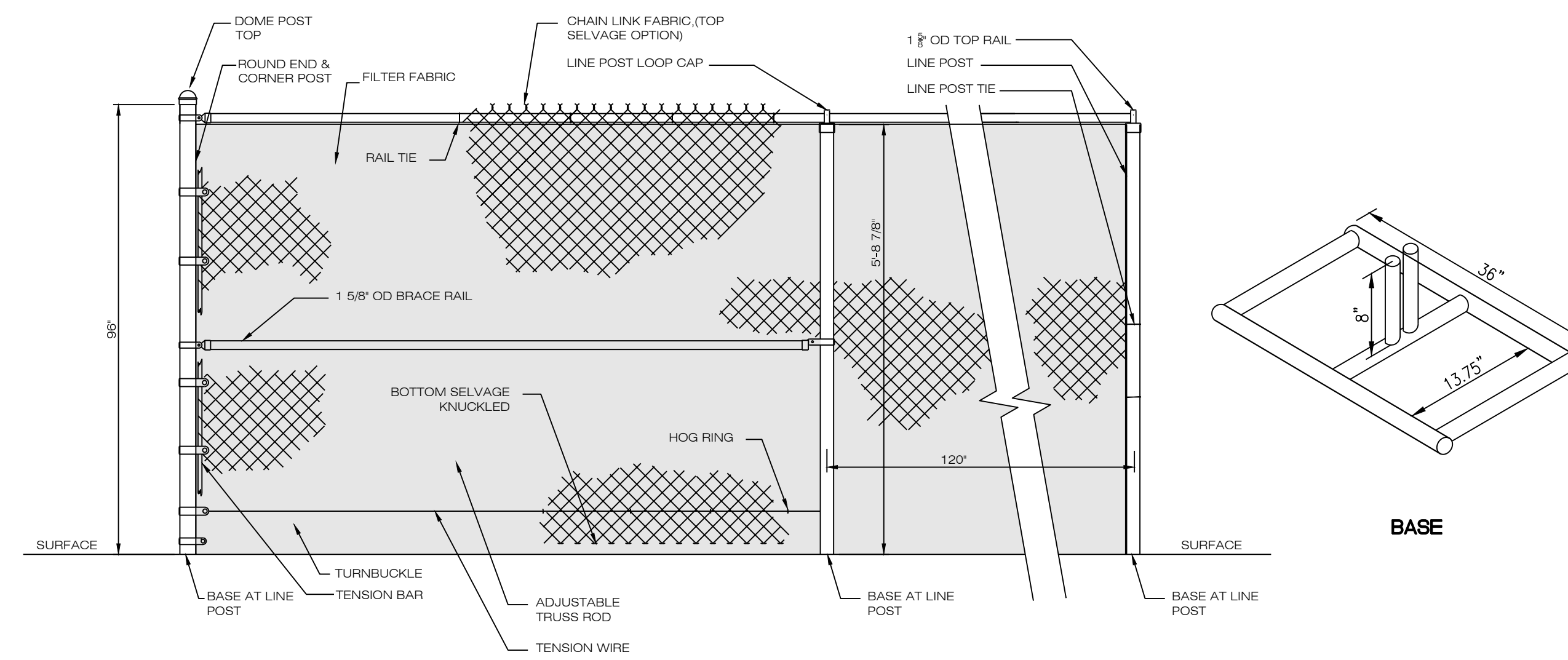


- NOTES:**
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  - CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO RAINING.
  - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

### INLET FILTER BARRIER PROTECTION



### INLET PROTECTION



### TEMPORARY CONSTRUCTION FENCE

**SOIL COMPACTION EXEMPTION NOTE**  
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

DATE	ISSUED FOR PERMIT	DESCRIPTION	BY
03/06/2022			

### REVISIONS:

**CITY OF JERSEY CITY**  
280 GROVE STREET  
JERSEY CITY, NJ 07302

**EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT**  
HARBORSIDE 2  
200 HUDSON STREET, SUITE 801  
JERSEY CITY, NJ 07311

**MATTHEW J. NEULS**  
PROFESSIONAL ENGINEER  
NJ LICENSE NUMBER 3462433300

**SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

**EXCHANGE PLACE PLAZA IMPROVEMENTS**

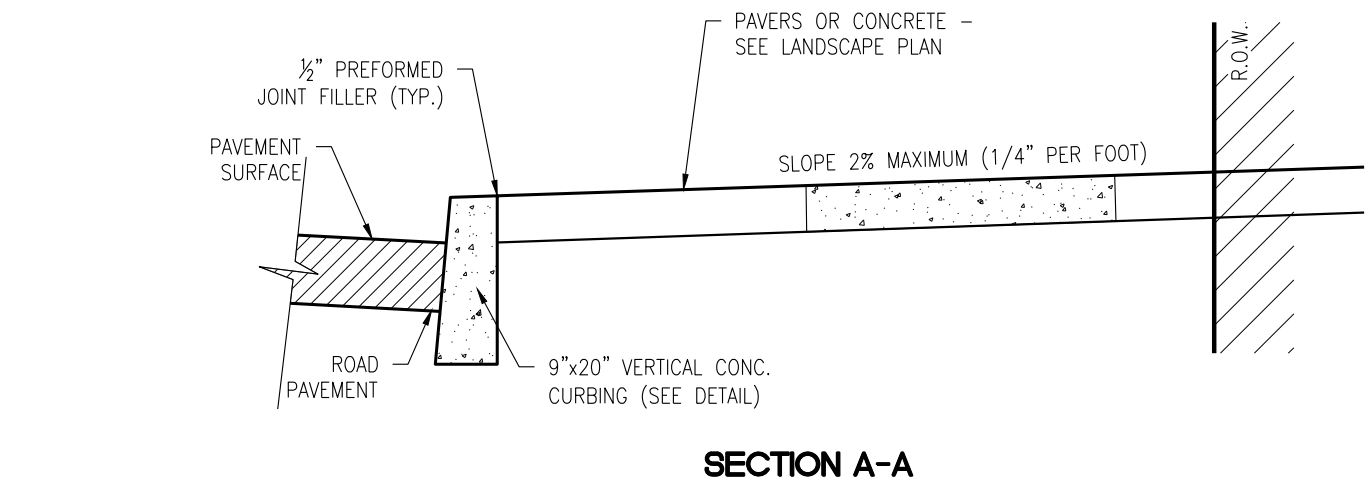
EXCHANGE PLACE  
CITY OF JERSEY CITY  
HUDSON COUNTY,  
NEW JERSEY, 07302

SCALE:

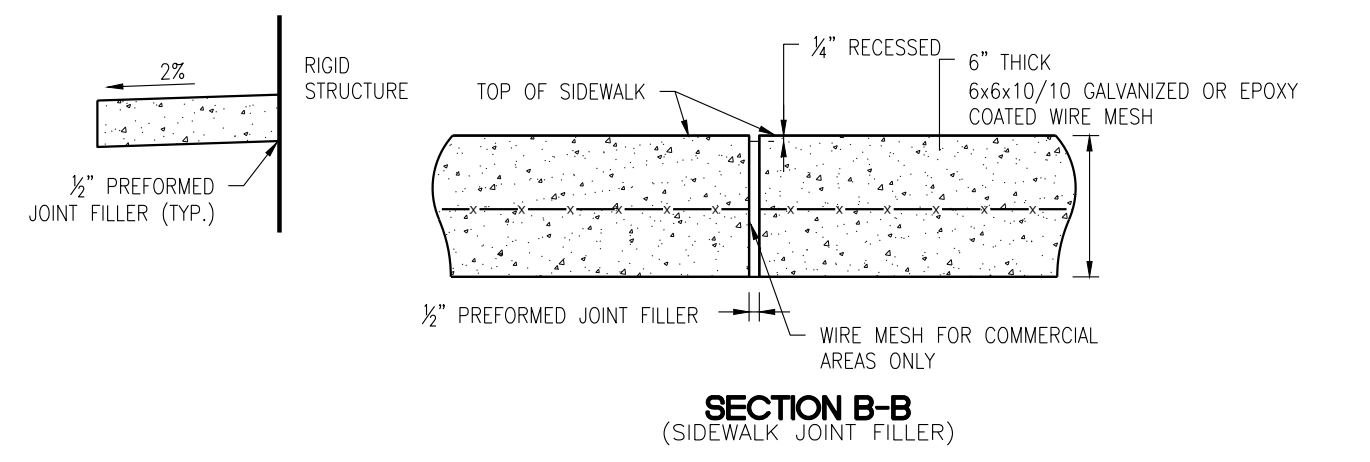
DRAWN BY:	CHECKED BY:	DRAWING NUMBER:
CW/GRG	MJN	C-802
SCALE: NTS	DATE: 04-14-2022	
FOR NO: 10491-006	SHEET 06 OF 08	

NOT FOR CONSTRUCTION

1. ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS 'B' CONCRETE (NUDOT SPEC)
2. A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPEC M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
3. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPEC M-33 FLUSH WITH THE TOP AND FACE OF CURB.
4. ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINAL FINISH.
5. DETECTABLE WARNING SURFACE SHALL BE "ADA SOLUTIONS INC." CLAY RED, MODEL #24489P, FEDERAL COLOR 22144 OR "RAMBO-TILE" TACTILE SYSTEMS BRICK RED, MODEL # ADA-C-2448, FEDERAL COLOR 22144, AS MANUFACTURED BY ENGINEERING PLASTICS INC., WILLAMSVILLE, NEW YORK, OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48". DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS; THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO DETECTABLE WARNING SURFACES OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
6. IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
7. ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH TRAFFIC STRIPES AND MARKINGS OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
8. AT ANY LOCATION WHERE NEW FILL CONSISTING OF CLEAN CRUSHED STONE/AGGREGATE, OPEN GRAVEL, OR OTHER POORLY GRADED FILL WILL BE PLACED OVER OR AGAINST THE SUBGRADE, A SUITABLE SEPARATION GEOTEXTILE (5 OZ./SQ. MINIMUM WEIGHT) SHOULD BE PLACED BELOW AND WRAP AROUND THE SIDES OF THE NEW FILL TO PREVENT MIGRATION OF FINES MATERIAL INTO THE NEW FILL.



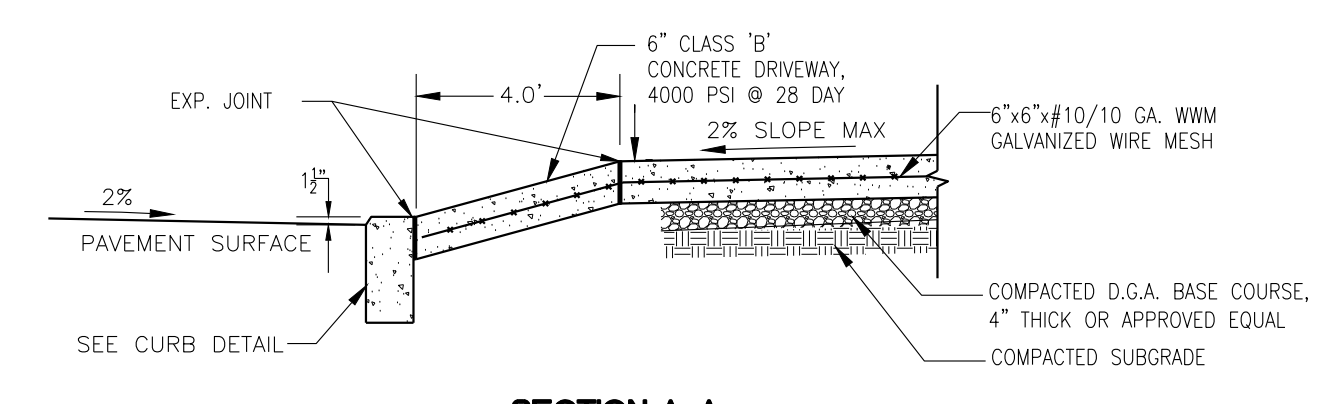
SECTION A-A



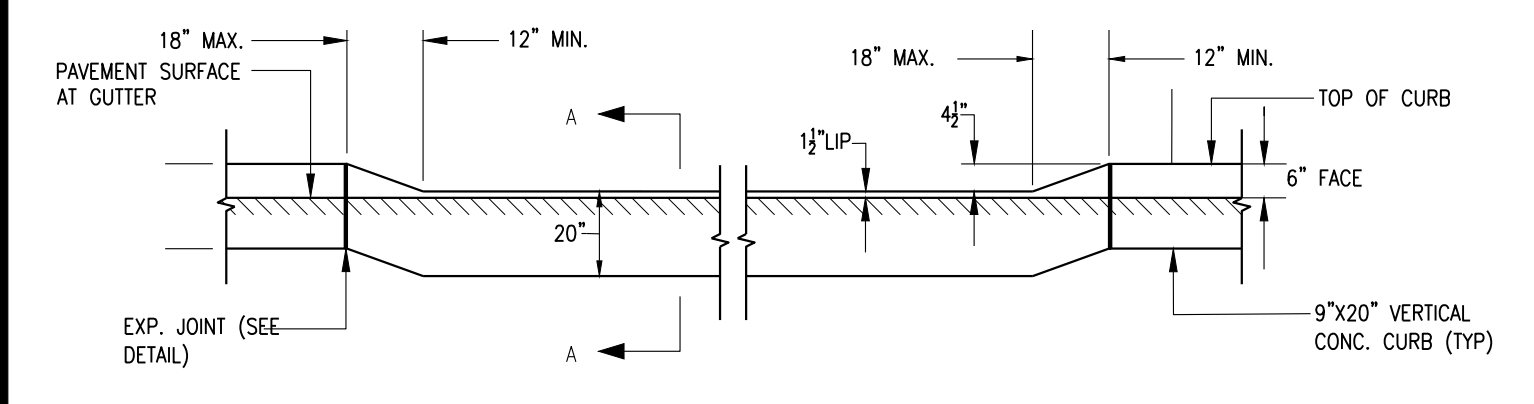
SECTION B-B (SIDEWALK JOINT FILLER)

TYPICAL CONCRETE SIDEWALK

**CURB AND SIDEWALK NOTES**

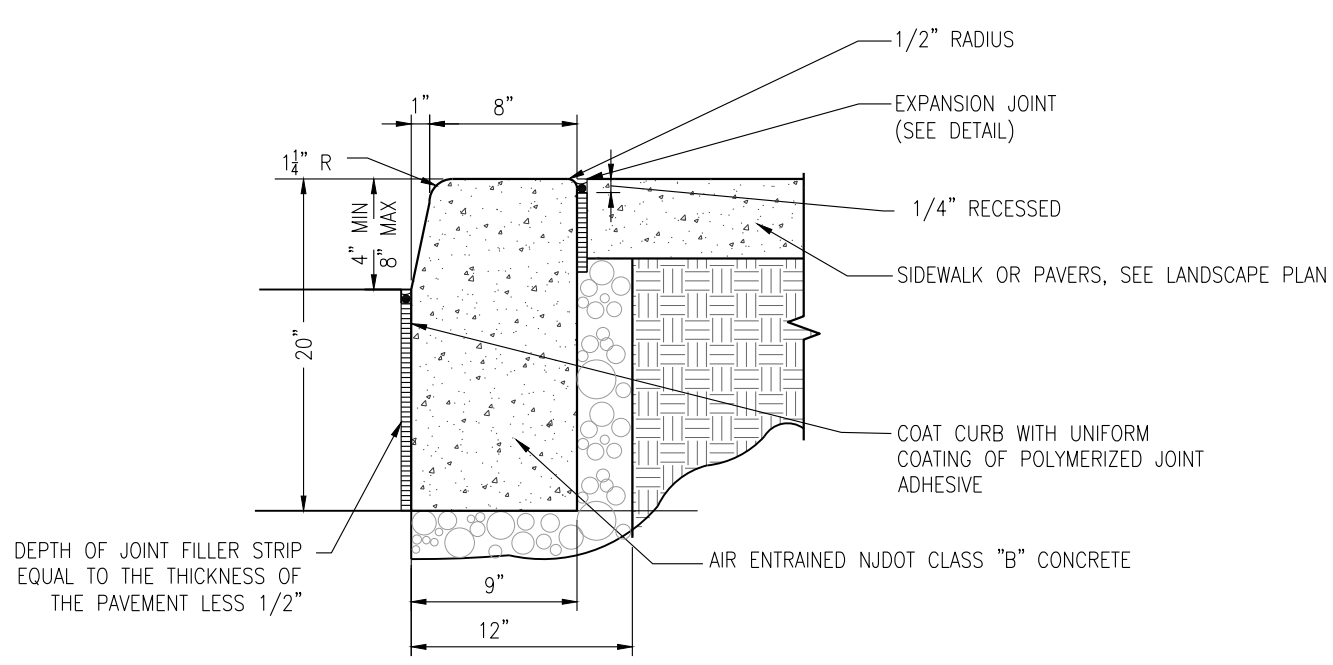


SECTION A-A



DEPRESSED CONCRETE CURB AND DRIVEWAY APRON

SOURCE: JERSEY CITY STANDARDS

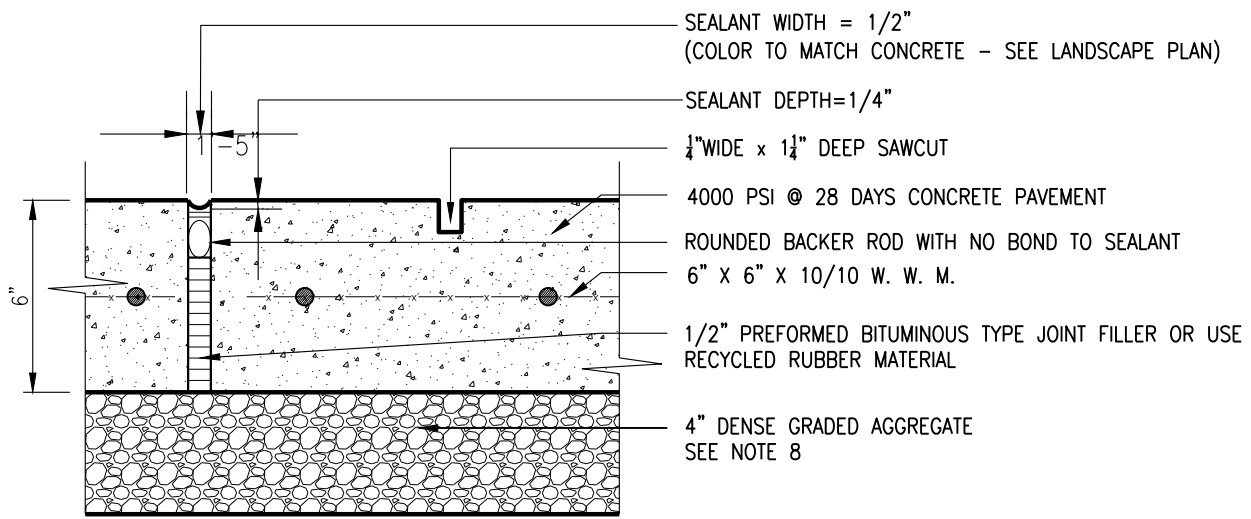


SECTION

REINFORCED CONCRETE APRON WITH PAVERS ON GRADE

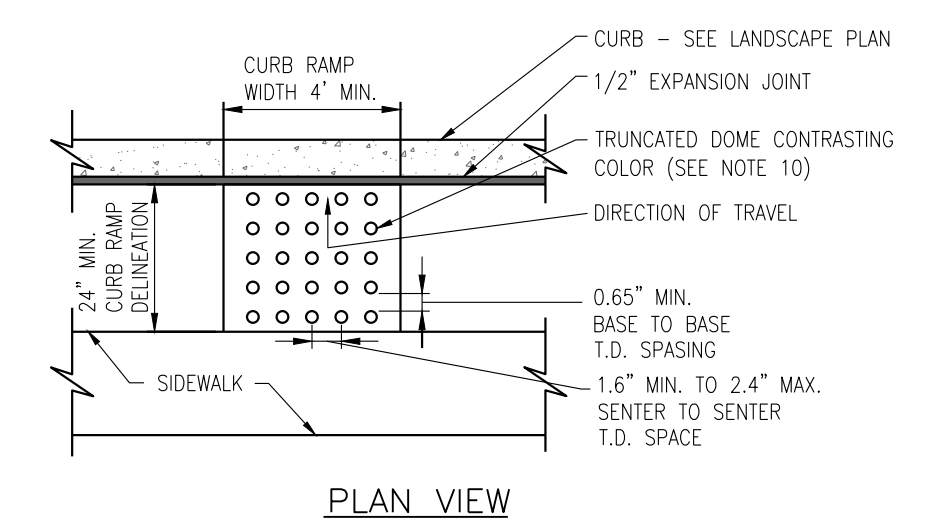
9'x20" VERTICAL CONCRETE CURB ALONG DRIVE AISLE

SOURCE: JERSEY CITY STANDARD DETAIL



EXPANSION JOINT

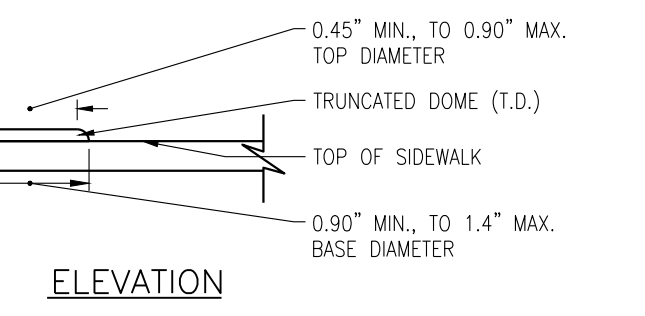
- NOTES:
1. WHERE APPLICABLE, EXPANSION AND SCORE JOINT PATTERN SHALL MATCH EXISTING. OTHERWISE, EXPANSION JOINTS SHALL BE 10' O.C. AND SCORE JOINTS SHALL BE 5' O.C. BOTH WAYS
  2. EXPANSION JOINTS SHALL RUN CONTINUOUS ALONG BUILDING FACADE, CURBS, WALLS OR EXISTING RIGID PAVEMENTS.



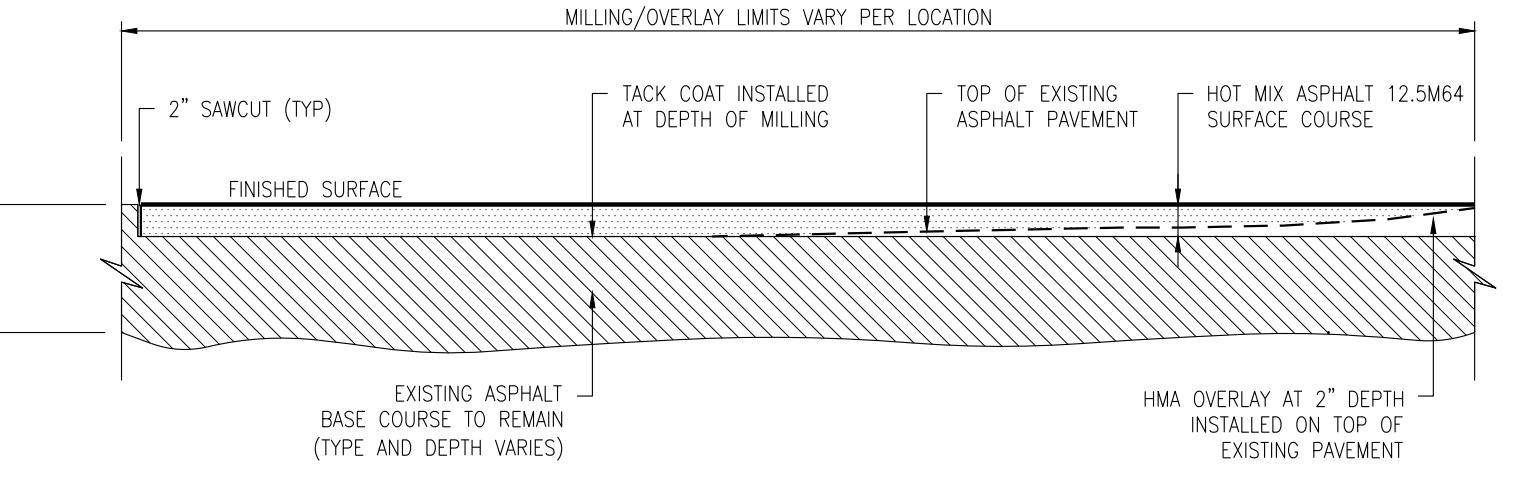
PLAN VIEW

DETECTABLE WARNING SURFACE

SOURCE: JERSEY CITY STANDARDS

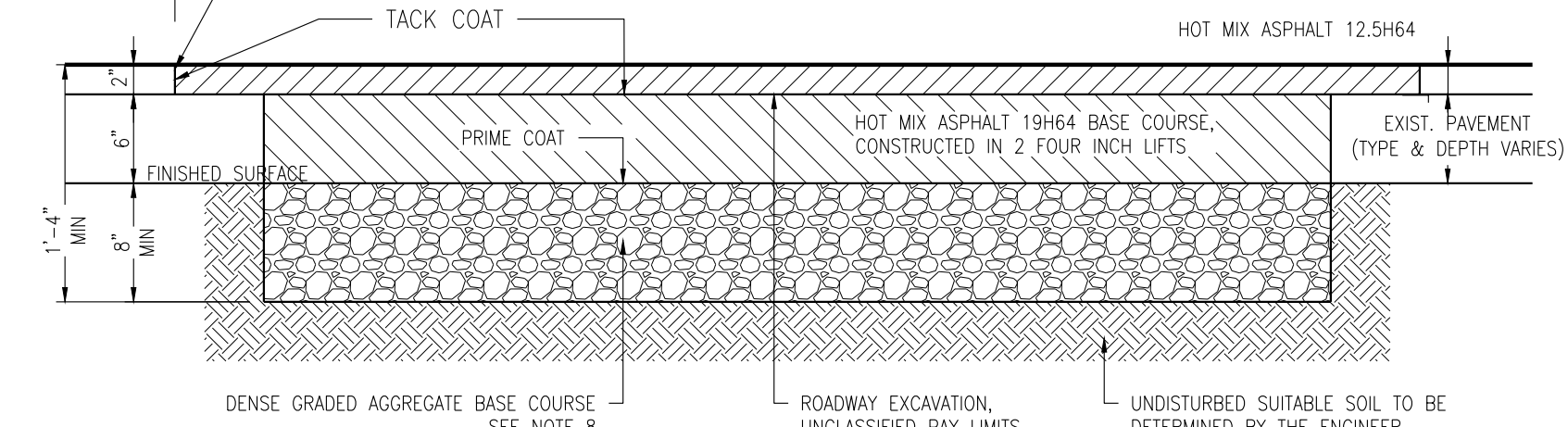


ELEVATION



MILLING AND OVERLAY

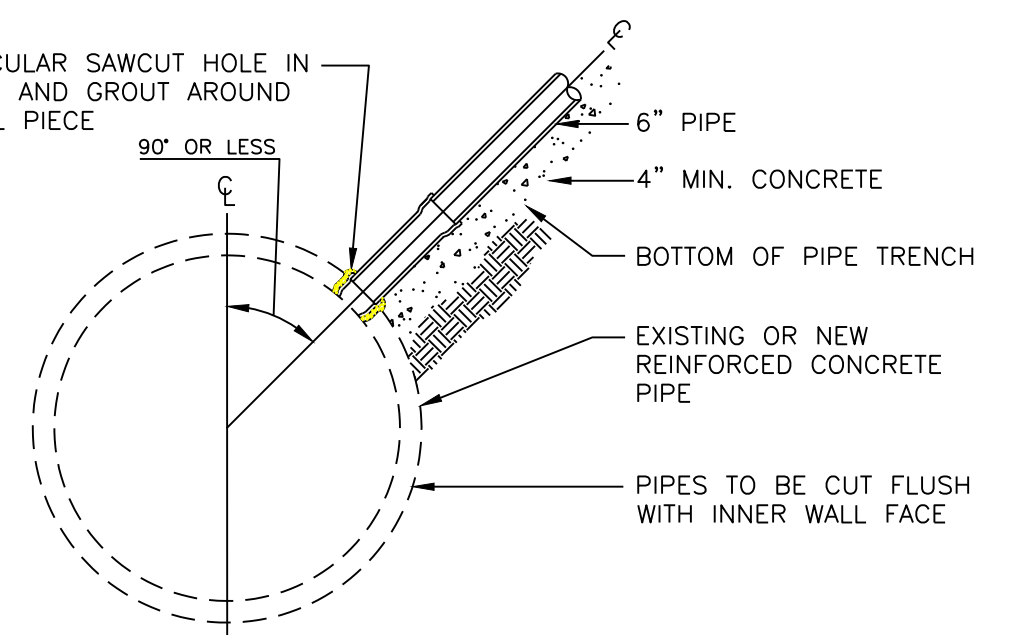
IF FULL WIDTH MILLING AND PAVING IS NOT INCLUDED IN THE PROJECT, REPAIR WIDTH AND LENGTH (MILLING & PAVING) TO BE A MINIMUM OF 3' FAST TRENCH OPENING OR AS DETERMINED BY THE ENGINEER OR AS SHOWN ON THE PLANS



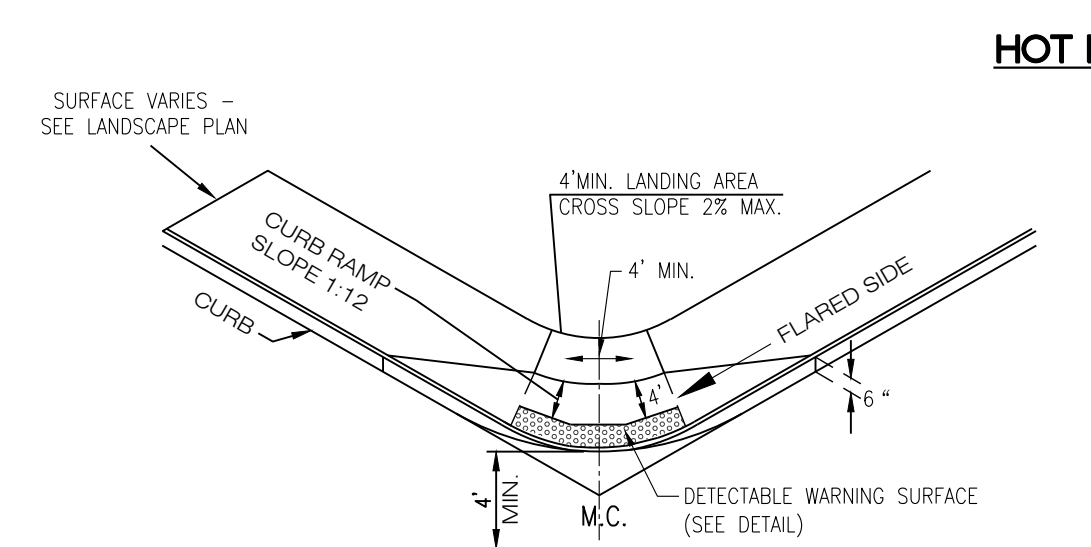
ASPHALT DRIVE

HOT MIX ASPHALT PAVEMENT REPAIR

SOURCE: JERSEY CITY STANDARDS

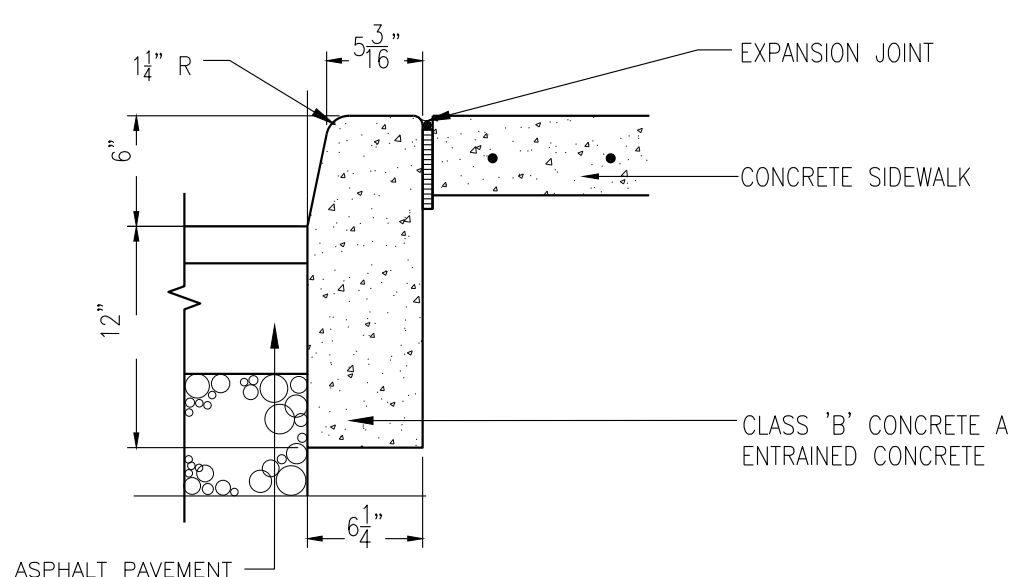


CONNECTION TO CONCRETE SEWER



SINGLE HANDICAPPED RAMPS AND CROSSWALK

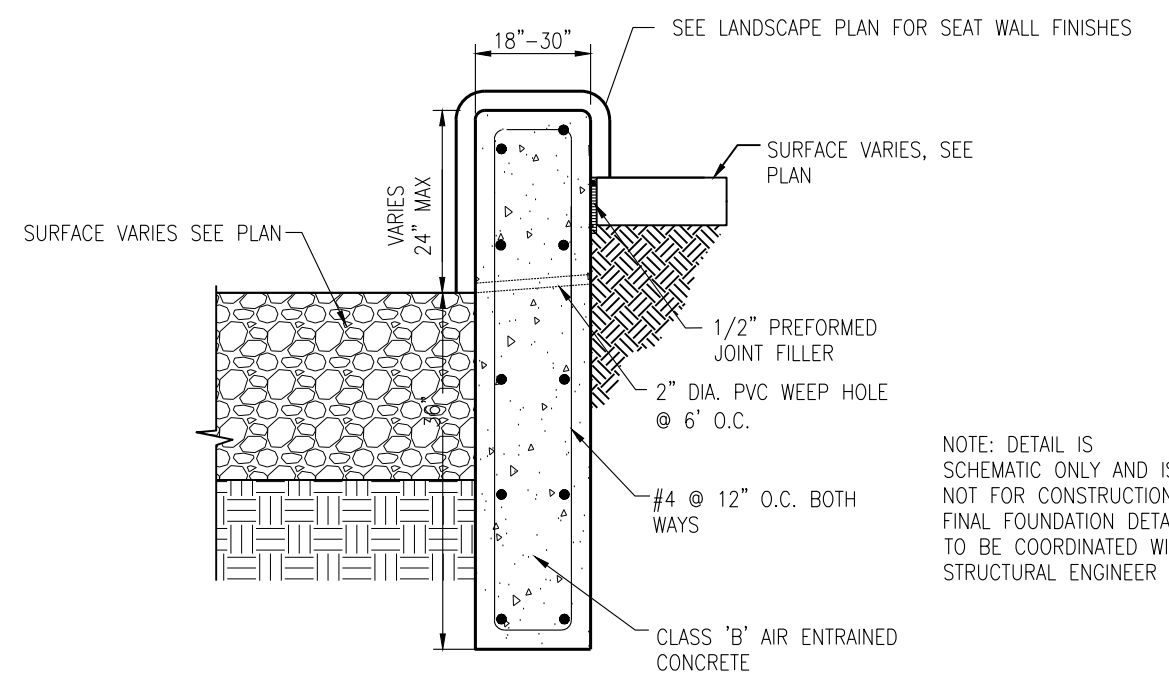
(PER JERSEY CITY STANDARDS)



6' x 18' ON-SITE CONCRETE CURB

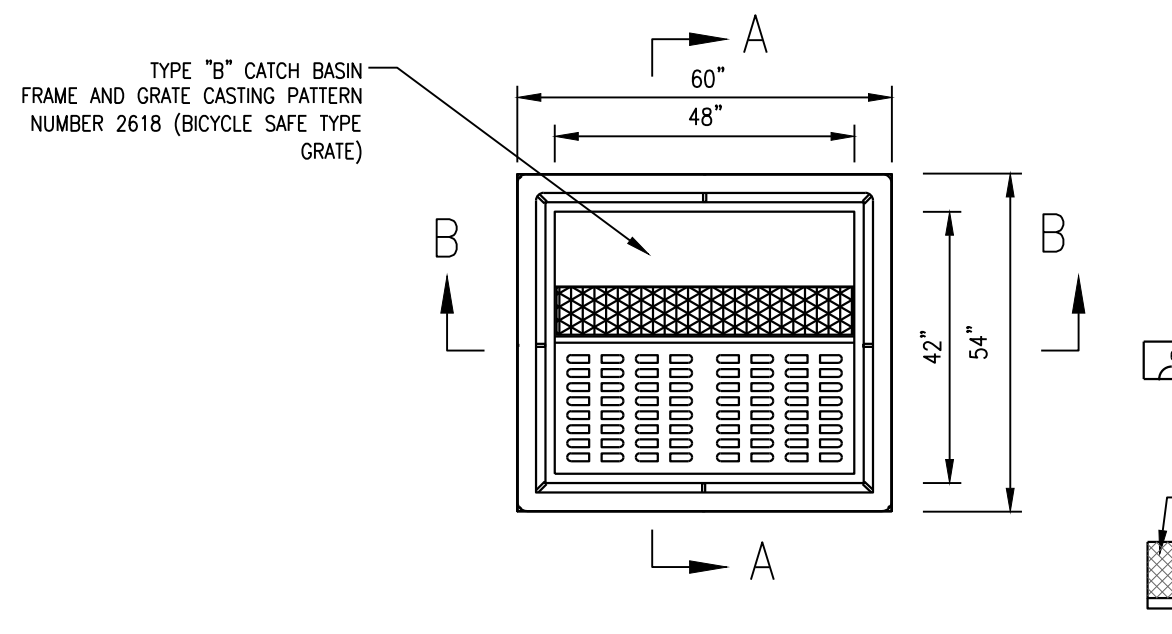
- NOTES:
1. CONCRETE TO BE CLASS B, AIR ENTRAINMENT 4% TO 7% SLUMP TO BE 3" MAXIMUM.
  2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB. EXPANSION JOINTS ALSO BE INSTALLED WHERE THE CURB IS ADJACENT TO SIDEWALKS AND CATCH BASINS.
  3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.
  4. CURB AT DRIVEWAYS AND ENTRANCES SHALL BE DEPRESSED SO THAT THE TOP OF THE CONCRETE IS 2" ABOVE THE ADJACENT PAVEMENT

CROSSWALK MARKINGS AS NOTED



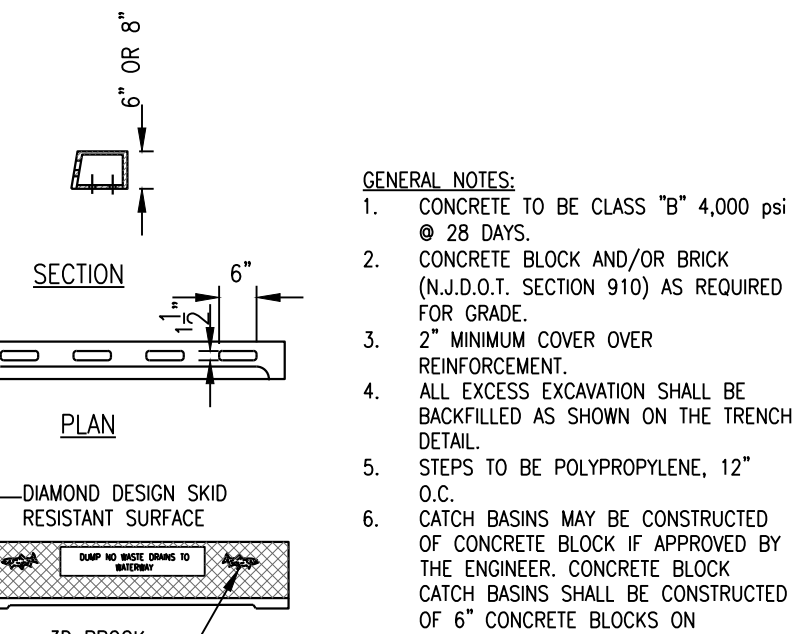
SECTION SEAT WALL AND MONUMENT SIGN FOUNDATION

NOTE: DETAIL IS SCHEDULED ONLY AND IS NOT FOR CONSTRUCTION. FINAL FOUNDATION DETAIL TO BE COORDINATED WITH STRUCTURAL ENGINEER

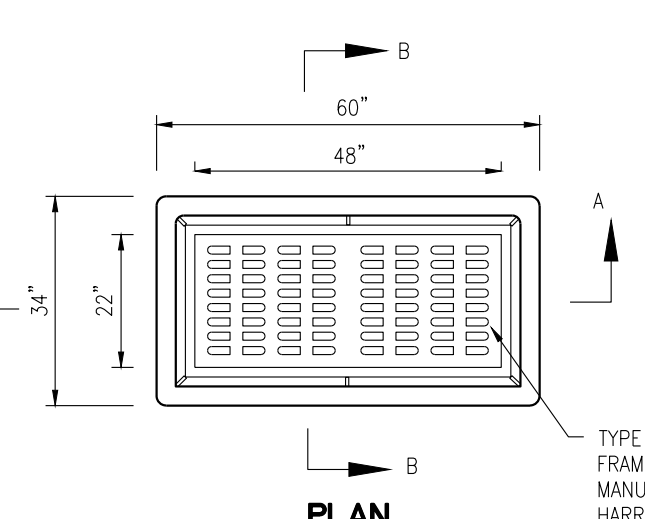


TYPE 'B' AND 'E' INLETS

SOURCE: JERSEY CITY STANDARD DETAIL

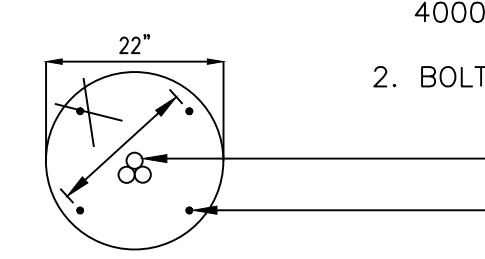


TYPE 'A' INLET

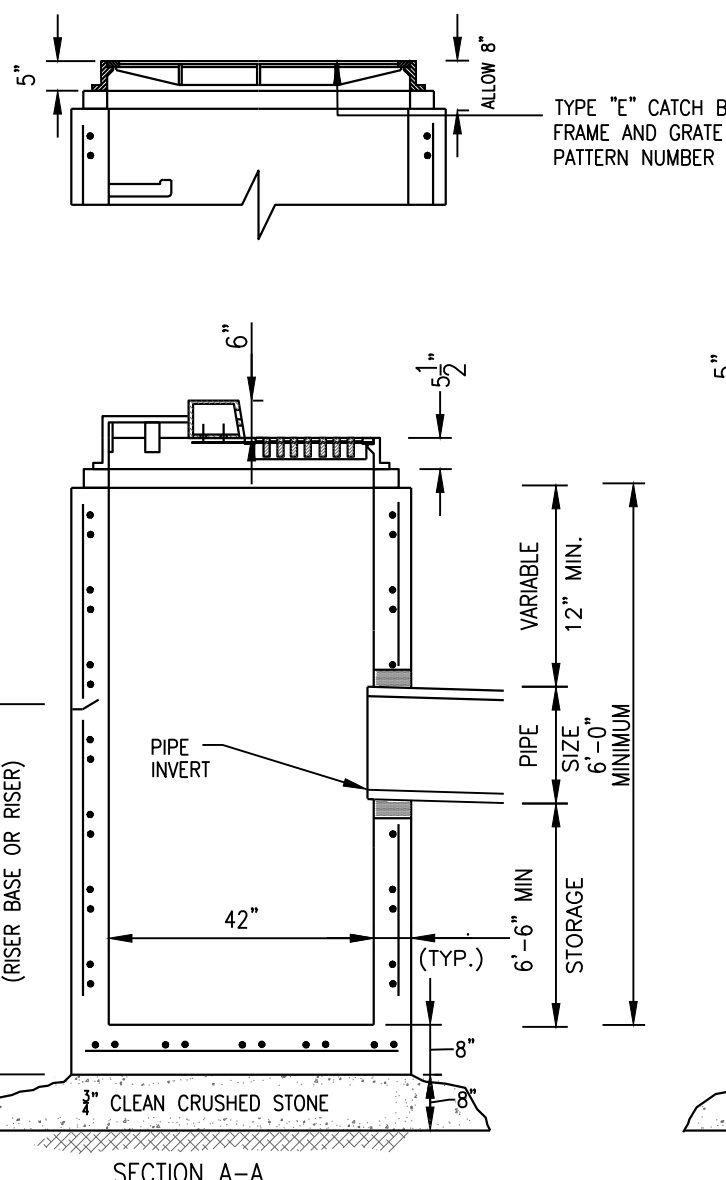
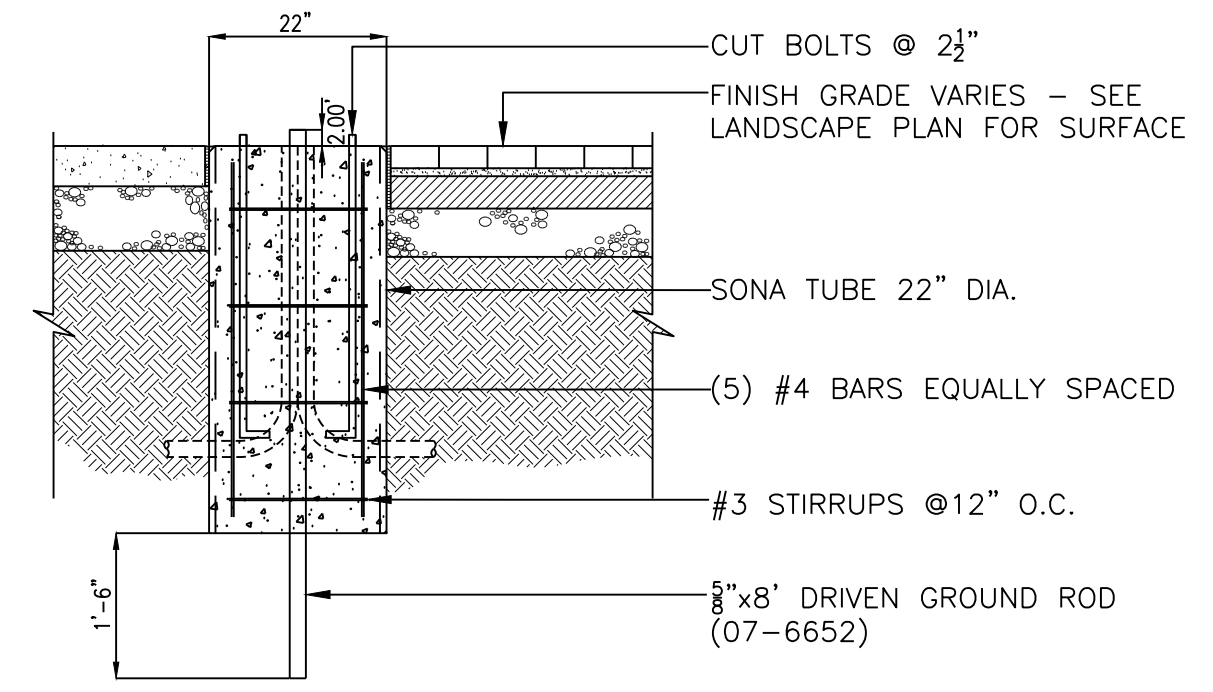


- GENERAL NOTES:
1. CONCRETE TO BE CLASS 'B' 4000 PSI @ 28 DAYS.
  2. CONCRETE BLOCK AND/OR BRICK (N.J.D.O.T. SECTION 910) AS REQUIRED FOR GRADE.
  3. 2" MINIMUM COVER OVER REINFORCEMENT.
  4. ALL EXCESS EXCAVATION SHALL BE BACKFILLED AS SHOWN ON THE TRENCH DETAIL.
  5. STEPS TO BE POLYPROPYLENE, 12" O.C.
  6. CATCH BASINS MAY BE CONSTRUCTED OF CONCRETE BLOCK IF APPROVED BY THE ENGINEER. CONCRETE BLOCK CATCH BASINS SHALL BE CONSTRUCTED OF 6" CONCRETE BLOCKS ON 5'-6" x 6'-0" x 8" THICK PRECAST CLASS 'B' CONCRETE FOOTING. A 1/2" THICK CEMENT PLASTER SHALL BE APPLIED TO THE INSIDE AND OUTSIDE WALLS OF THE CATCH BASIN. ALL OTHER DETAILS AS SHOWN FOR THE PRECAST CATCH BASIN SHALL APPLY.

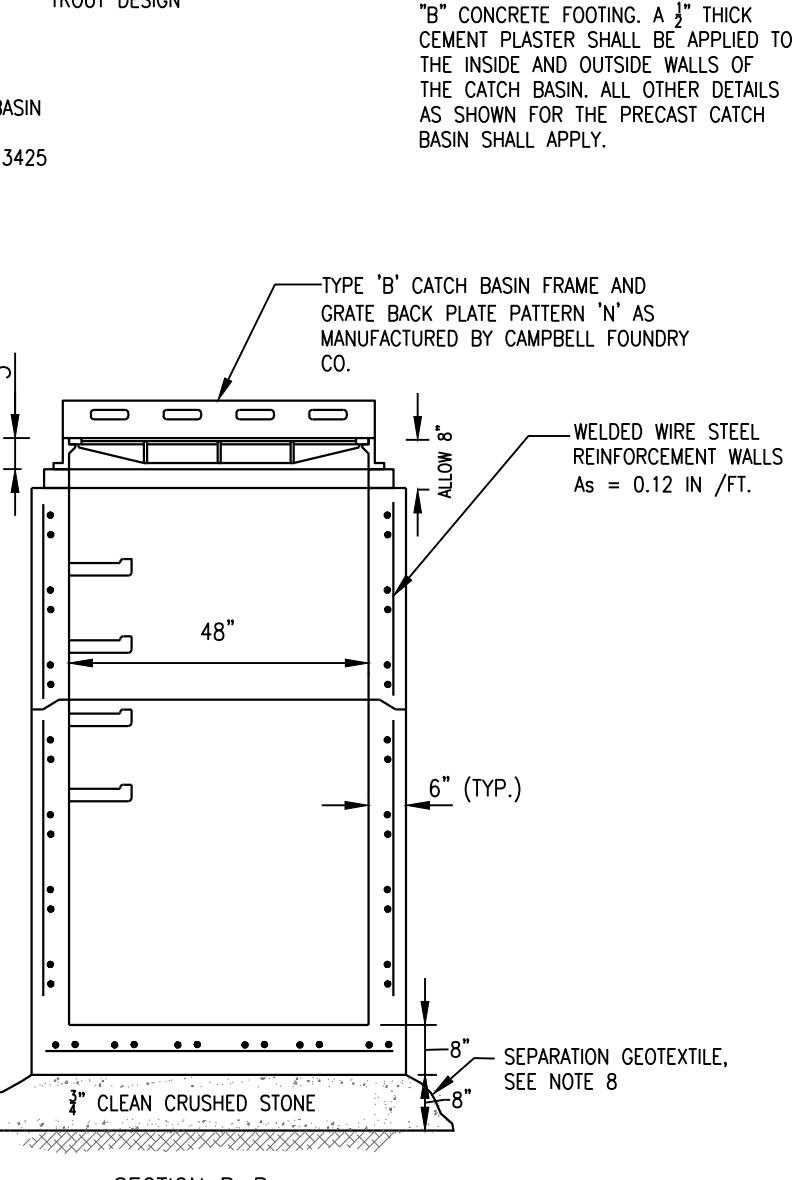
- NOTES:
1. ROD CONCRETE TO ELIMINATE AIR POCKETS IN 4000 LB. CONCRETE MIX.
  2. BOLT CIRCLE MAY VARY WITH POLE TO BE USED.



LIGHT POLE FOOTING



SECTION A-A



SECTION B-B

**DRESDNER ROBIN**

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
 1 EVERHURST PLAZA, SUITE 901, JERSEY CITY, NJ 07302  
 TEL: 201.217.9200 FAX: 201.217.9607  
 NJ CERTIFICATE OF AUTHORIZATION: 246247926000

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

01	06/10/2022	ISSUED FOR PERMIT	GRG
NO.	DATE	DESCRIPTION	BY

OWNER:  
**CITY OF JERSEY CITY**  
 280 GROVE STREET  
 JERSEY CITY, NJ 07302

APPLICANT:  
**EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT**  
 HARBORSIDE 2  
 200 HUDSON STREET, SUITE 801  
 JERSEY CITY, NJ 07311

**MATTHEW J. NEULS**  
 PROFESSIONAL ENGINEER  
 NJ LICENSE NUMBER 24624313300

**CONSTRUCTION DETAILS I**

**EXCHANGE PLACE PLAZA IMPROVEMENTS**

LOCATION:  
 EXCHANGE PLACE  
 CITY OF JERSEY CITY  
 HUDSON COUNTY,  
 NEW JERSEY, 07302

DRAWN BY:	CW/GRG	CHECKED BY:	MJN	DRAWING NUMBER:	C-901
SCALE:	NTS	DATE:	04-14-2022	SHEET:	07 OF 08
JOB NO.:	10491-006				

